# RIOT GAMES Riot Games Seattle - Exterior Upgrades

05/05/2023 - ISSUE CD 50% 05/19/2023 - ISSUE FOR PERMIT

3003 77th Avenue 98040

# SoutheastMercer Island WA



# Gensler

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**1200 6TH AVE** SUITE 500 SEATTLE, WA 98133 Tel: 206.654.2100

# **#RIOT GAMES** OWNER

3003 77TH AVENUS SOUTHEAST MERCER ISLAND, WA 98040

# LINCOLN PROPERTY COMPANY **OWNERS REP** 1201 THIRD AVE., FLOOR 22

SEATTLE, WA 98101 Tel: 425.443.9438

# KPFF

STRUCTURE & CIVIL 1601 FIFTH AVENUE, SUITE 1600 SEATTLE, WA 98101

## WATRY DESIGN PARKING DESIGN 2099 GATEWAY PL. #550 SAN JOSE, CA 95110

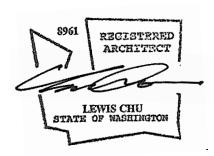
Tel: 833.917.7275

# **BRUMBAUGH AND ASSOCIATES** LANDSCAPE 600 NORTH 85TH STREET, SUITE 102 SEATTLE, WA 98103

**RDH BUILDING SCIENCE** WATERPROOFING 2101 N 34TH ST SEATTLE, WA 98103

# **CODE CONSULTANT, INC.** EGRESS CODE ANALYSIS 2043 WOODLAND PKWY, SUITE 300 ST. LOUIS, MO 63146

# **JENSEN HUGHES** ADA ANALYSIS 1220 CONCORD AVENUE, SUITE 400 CONCORD, CA 94520



| SRAPHIC SYMBOLS   |                              |   | ABBRI            | EVIATIONS                                     |
|---|------------------------------|---|------------------|---|
| ELEVATION INDICATION  | CONST                        | RUCTION   | A<br>ACCES       | ACCESSORY                                     |
| GLASS SYMBOL  |                              |   | ACOUS<br>AFF     | ACOUSTIC(AL)<br>ABOVE FINISHED FLOOR          |
|   |                              | COLUMN GRID REFERENCE NUMBER  | AL               | ALUMINUM<br>ALTERNATE                         |
| WOOD VENEER   | 4                            | - COLUMN GRID LINES   | ANNUNC           | ANNUNCIATOR                                   |
| STONE   |                              |   | ANOD<br>APC      | ANODIZED<br>ACOUSTIC PANEL CEILING            |
|   |                              | (E) CONSTRUCTION TO BE DEMOLISHED<br>(N) CONSTRUCTION                                   | APPL<br>AUTO     | APPLIANCE<br>AUTOMATIC                        |
|   |                              | 1 HOUR RATED CONSTRUCTION   | AVG              | AVERAGE                                       |
| REFLECTED CEILING   |                              | 2 HOUR RATED CONSTRUCTION<br>3 HOUR RATED CONSTRUCTION                                  | В                |   |
|   |                              | 4 HOUR RATED CONSTRUCTION   | BD<br>BLDG       | BOARD<br>BUILDING                             |
| ACOUSTIC CEILING & GRID   |                              | (N) MILLWORK<br>– MILLWORK OVERHEAD   | BLKG<br>BOLLD    | BLOCKING<br>BOLLARD                           |
| + +   |                              | HIDDEN/BEYOND   | BRDLM            | BROADLOOM                                     |
| CEILING HEIGHT CHANGE   |                              | OVERHEAD/ABOVE<br>- DRAWING NUMBER  | BU               | BUILT UP                                      |
| xx'-xx"   | XX<br>XX.XXX                 | - SHEET NUMBER  | C<br>CAB         | CABINET                                       |
| X'-X" FINISHED CEILING HEIGHT   | SIN                          | <ul> <li>DESCRIPTION OF SIMILAR OR OPPOSITE</li> <li>AREA TO BE DETAILED</li> </ul>     | CEM<br>CER       | CEMENT(ITIOUS)<br>CERAMIC                     |
| GRID START POINT SYMBOL   |                              |   | CLG<br>CMU       | CEILING                                       |
| AT1 CEILING FINISH TAG  | 1                            | - DRAWING NUMBER  | COATG            | CONCRETE MASONRY UNIT<br>COATING              |
| MS MOTION SENSOR<br>X   | 2 AX.XX                      | <ul> <li>DIRECTION OF ELEVATION</li> <li>SHEET NUMBER</li> </ul>                        | COILG<br>CONC    | COILING<br>CONCRETE                           |
| S CEILING-MOUNTED SPEAKER   | 2                            | SHELTNOWDER   | CONSTR<br>CONT   | CONSTRUCTION<br>CONTINUOUS(ATION)             |
|   |                              |   | CONTR            | CONTRACT(OR)                                  |
| → CEILING-MOUNTED CAMERA  | $\int$                       | - REVISION NUMBER   | COV<br>CPT       | COVER<br>CARPET                               |
| CEILING-MOUNTED SPRINKLER HEAD     CEILING-MOUNTED SMOKE DETECTOR   |                              | - REVISED AREA  | D                |   |
| × ×   | <b>NAME</b>                  | ROOM NAME<br>ROOM NUMBER  | DBL              |   |
| X X CEILING-MOUNTED STROBE LIGHT  | (01)                         | SHEET NOTE  | DEPT<br>DES      | DEPARTMENT<br>DESIGN(ED)                      |
|   |                              | - PARTITION TYPE  | DET<br>DF        | DETAIL<br>DRINKING FOUNTAIN                   |
|   |                              | <ul> <li>FIRE RATING, IF APPLICABLE</li> <li>DOOR NUMBER (SEE DOOR SCHEDULE)</li> </ul> | DIA              | DIAMETER<br>DIFFUSER                          |
| WALL MTD EXIT SIGNS - PARALLEL  |                              | - DOOR NUMBER   | DIM              | DIMENSION                                     |
| • • • • • • • • • • • • • • • • • • •   |                              |   | DISP<br>DIV      | DISPENSER<br>DIVISION                         |
| Image: Wall MTD EXIT SIGNS -       Image: Wall MTD EXIT SIGNS - |                              | – DOOR NUMBER<br>– DOOR TYPE   HARDWARE TYPE  | DN<br>DR         | DOWN<br>DOOR                                  |
|   | XX                           | WINDOW TYPE (SEE WINDOW<br>SCHEDULE)  | DSCON            | DISCONNECT                                    |
| ACCESS DOOR   | (MW01)                       | MILLWORK TYPE (SEE MILLWORK SCHEDULE)   | DWR              | DRAWER  |
| LIGHT FIXTURES  | <b>—</b>                     | ELEVATION DATUM REFERENCE   | E<br>(E)         | EXISTING                                      |
| CEILING GRID FIXTURE  | +6"                          |   | ELAST<br>ELEC    | ELASTOMERIC<br>ELECTRICAL                     |
| (E) FIXTURE TO BE REMOVED   |                              | FLOOR ELEVATION TRANSITION  | EMBED            | EMBEDD(ED)(ING)                               |
| UNDER CABINET/LINEAR FIXTURE  | MATCH LINE SEE XX/X<br>ALIGN | X MATCH LINE<br>ALIGN WITH ESTABLISHED /  | ENGR<br>ENTR     | ENGINEER(ED)<br>ENTRANCE                      |
| <ul> <li>□ RECESSED DOWNLIGHT</li> <li>⑦ RECESSED ADJUSTABLE DOWNLIGHT</li> </ul>   | • •                          | ADJACENT SURFACES   | EQ<br>EQUIP      | EQUAL<br>EQUIPMENT                            |
| RECESSSED WALL WASHER   |                              | ED LIFE SAFETY EQUIPMENT AND DEVICES  | EXP JT           | EXPANSION JOINT                               |
|   | FW                           | WALL MOUNTED FIRE ALARM STROBE<br>FIRE WARDEN STATION                                   | EXPS<br>EXT      | EXPOSE(D)<br>EXTERIOR                         |
| ) WALL SCONCE   | FA                           | FIRE ALARM PULL   | F                |   |
| E DENOTES EXISTING TO REMAIN  | FE                           | FIRE EXTINGUISHER<br>FIRE EXTINGUISHER  | FAB<br>FD        | FABRICATION<br>FLOOR DRAIN                    |
| R DENOTES EXISTING TO BE RELOCATED  | FEC                          | CABINET<br>FIRE VALVE   | FE               | FIRE EXTINGUISHER                             |
| \$ WALL SWITCH  | FVC                          | FIRE VALVE CABINET  | FE&C<br>FHC      | FIRE EXTINGUISHER AND CA<br>FIRE HOSE CABINET |
| D DIMMER SWITCH   | FHC                          | FIRE HOSE CABINET   | FIN<br>FLDG      | FINISH<br>FOLDING                             |
| MECHANICAL FIXTURES   | SECTIO                       |   | FLR              | FLOOR(ING)                                    |
|   |                              |   | FPLC<br>FR       | FIREPLACE<br>FIRE RAT(ING)(ED)                |
|   |                              | ACOUSTICAL CEILING TILE   | FRMG<br>FURN     | FRAMING<br>FURNITURE                          |
| <u>K – N</u>  |                              | ALUMINUM  | FWC<br>FXD       | FABRIC WALL COVERING<br>FIXED                 |
| Image: Circular diffuser       Image: Linear diffuser   |                              | BRICK   | FXTR             | FIXTURE                                       |
| O EXHAUST FAN   |                              |   | G                |   |
|   |                              | CARPET  | GA<br>GC         | GAUGE<br>GENERAL CONTRACTOR                   |
| INISH   |                              | CONCRETE  | GFRC             | GLASS FIBER REINFORCED<br>CONCRETE            |
|   |                              |   | GFRG             | GLASS FIBER REINFORCED                        |
| XXXX WALL FINISH TAG<br>XXXX BASE FINISH TAG  |                              | CONCRETE MASONRY UNIT   | GFRP<br>GL       | GLASS FIBER REINFORCED I<br>GLASS             |
| EXTENT OF FINISH TYP.   |                              | CUT STONE   | GR<br>GWB        | GRAD(E)(ING)<br>GYPSUM WALL BOARD             |
| XXXX K WALL FINISH TAG  |                              |   | GYP              | GYPSUM  |
|   |                              | EARTH   | н                |   |
| XXXX SPECIAL FINISH TAG   |                              | FABRIC WRAPPED PANEL  | HD<br>HDWD       | HEAD<br>HARDWOOD                              |
| XXXX FLOOR FINISH TAG   |                              | GLASS   | HDWE<br>HM       | HARDWARE<br>HOLLOW METAL                      |
|   |                              | GLAGO   | HORIZ            | HORIZONTAL                                    |
| XXXX CEILING FINISH TAG   |                              | GRAVEL  | HP<br>HVAC       | HIGH POINT<br>HEATING, VENTILATING, ANE       |
| CHANGE IN FLOOR FINISH  |                              | GYPSUM PLASTER  |                  | CONDITIONING                                  |
|   |                              |   | I<br>INFILTR     | INFILTRATION                                  |
|   |                              | INSULATION (LOOSE OR BATT)  | INFO             | INFORMATION                                   |
|   |                              | INSULATION (RIGID)  | INSTRUM<br>INSUL | INSTRUMENT(ATION)<br>INSULATION               |
|   |                              |   | INT<br>INTLK     | INTERIOR<br>INTERLOCK(ING)                    |
|   |                              | METAL   |                  |   |
|   |                              | PLASTIC   | J<br>JAN         | JANITOR                                       |
|   |                              | PLYWOOD   |                  |   |
|   |                              |   |                  |   |
|   |                              | PRE-CAST PANELS   |                  |   |
|   |                              | SAND OR GROUT   |                  |   |
|   |                              |   |                  |   |
|   |                              | STONE   |                  |   |
|   |                              | WOOD (FINISHED )  |                  |   |
|   |                              |   |                  |   |
|   |                              | WOOD (CONTINUOUS MEMBER)  |                  |   |
|   |                              | WOOD (INTERRUPTED MEMBER  |                  |   |
|   |                              |   |                  |   |

# EILING

KITCHEN

LAVATORY

LEASE LINE

LOW POINT

POUND

LOUVER

LIGHT LEVELING

MAXIMUM

MECHANICAL

MEMBRANE

MEZZANINE

MINIMUM

MOISTURE

MOUNTED

MILLWORK

NUMBER

OCCUPANT OPPOSITE HAND

OPENING(S)

OPERABLE

ORNAMENTAL

OVERFLOW

OVERHEAD

PARTICLE BOARD

PLASTIC LAMINATE

PEDESTRIAN

PLASTER

PLASTIC

PLYWOOD PANEL

POLYSTYRENE

PREFABRICATED

PREFINISHED

PROTECTION

PARTITION

READER

RECESS(ED)

RECEPTACLE

REFER(ENCE)

REFLECTED

REQUIRED

ROOFING

ROOF DRAIN

ROUGH OPENING

ROOM

SCRIBE

SINGLE

SHORING

SIMILAR

STANDARD

STOREFRONT

STRUCTURAL

SURFACE

SUSPENDED

TONGUE AND GROOVE

SYSTEM(S)

THICK

TOILET

TRAFFIC

TREATED

TYPICAL

UTILITY

VEHICLE

WITH

WITHOUT

WOOD

WINDOW WEIGHT

VERTICAL

VERIFY IN FIELD

WATER CLOSET

WATERPROOFING

TOP OF STEEL

TRANSPARENT

UNDERLAYMENT

UNLESS OTHERWISE NOTED

STEEL

STAINLESS STEEL

SECURITY SQUARE FEET

REFRIGERATOR

RESIST(ANT)(IVE)

PORTABLE

MILLWORK VENDOR

NOT IN CONTRACT

NOT TO SCALE

MOTOR(IZED)

MANUFACTURED

MANUFACTURER

MISCELLANEOUS

METAL

KIT

LAV

LP

LVLG

MAX

MECH

MEMB

MEZZ

MET

MFD

MFR

MIN

MISC

MOIST

MOT

MTD

MW

MWV

NIC

NO

NTS

OCC

OH

OPNG

ORNA

OVFL

OVHD

PBD

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TRANS

TRTD

UNDRLY

UON

UTIL

TYP

т

PEDTR

OPR

LOUVER

RY UNIT

PLAM PLAS PLSTC PLYWD PNL POLYST PORT PREFAB PREFIN PRTECN PTN RDR RECES RECPT

R AND CABINET

SF SGL SHORG SIM SST STD STL STRFR SURF

FORCED FORCED GYPSUM FORCED PLASTER

ATING, AND AIR

VEH VERT VIF W/

W/O WC WD WDW WT WTRPRF 

| Sheet     | Object Name   | 05/05/23 - CD 50% | 05/19/23 - ISSUE FOR PERMIT |
|-----------|---|-------------------|-----------------------------|
| Number    | Sheet Name  | 96                | 8                           |
| 1-GENERA  | AL  |                   |                             |
| G0.00     | COVER   | •                 | •                           |
| G0.10     | PROJECT INFO AND DRAWING INDEX                                | •                 | •                           |
| G0.20     | GENERAL NOTES   | •                 | •                           |
| G0.30     | ACCESSIBILITY DIAGRAMS  | •                 | •                           |
| G0.80     | CAMPUS SITE & SCOPE COORDINATION PLAN - FOR<br>REFERENCE ONLY | •                 | •                           |
| 5         |   |                   |                             |
| 2-CIVIL   |   |                   |                             |
| C0.00     | COVER   | •                 | •                           |
| C1.00     | DEMOLITION AND TESC PLAN                                      | •                 | •                           |
| C1.10     | TESC DETAILS  | •                 | •                           |
| C2.00     | CIVIL SITE PLAN   | •                 | •                           |
| C2.10     | GRADING ENLARGEMENTS  | •                 | •                           |
| C2.11     | GRADING ENLARGEMENTS  | •                 | •                           |
| C2.12     | GRADING ENLARGEMENTS  | •                 | •                           |
| C2.13     | GRADING ENLARGEMENTS  |                   |                             |
| C2.20     | CIVIL DETAILS   |                   |                             |
| 9         |   |                   |                             |
| 3-LANDSC  | APE   |                   |                             |
| L0.01     | COMPOSITE PLAN  | •                 | •                           |
| L1.01     | VEGETATION REMOVAL PLAN                                       | •                 | •                           |
| L2.01     | LAYOUT AND GRADING PLAN - ENTRY                               | •                 | •                           |
| L3.01     | MATERIALS PLAN  | •                 | •                           |
| L5.01     | PLANTING PLAN   | •                 | •                           |
| L5.20     | PLANT SCHEDULE AND NOTES                                      | •                 | •                           |
| L6.01     | IRRIGATION PLAN, SCHEDULED, AND NOTES                         | •                 | •                           |
| L7.01     | SITE SECTIONS   | •                 | •                           |
| L8.01     | PLANTING AND IRRIGATION DETAILS                               | •                 | •                           |
| L8.11     | SITE DETAILS  | •                 | •                           |
| 10        |   |                   |                             |
| 4-ARCHITE | ECTURE  |                   |                             |
| A3.10     | ENLARGED PLAN AND ELEVATIONS - PLAZA                          | •                 | •                           |
| A3.30     | ENLARGED PLAN AND ELEVATIONS - SKYLIGHT                       | •                 | •                           |
| A3.40     | ENLARGED PLAN AND ELEVATIONS - SOUTH EGRESS                   | •                 | •                           |
| A3.20     | ENLARGED PLAN AND ELEVATIONS - LOWER LEVEL<br>RAMPS           | ٠                 | ●                           |

| PK2.1 | LOWER LEVEL PARKING PLAN | • | • |
|-------|--------------------------|---|---|
| PK2.2 | UPPER LEVEL PARKING PLAN | • | • |
| PK2.3 | LOWER LEVEL PARKING PLAN | • | • |
| PK2.4 | UPPER LEVEL PARKING PLAN | • | • |
| PK4.1 | ENLARGED PLANS           | • | • |
| PK4.2 | ENLARGED PLANS           | • | • |
| PK4.3 | ENLARGED PLANS           | • | • |
| PK4.4 | ENLARGED PLANS           | • | • |
| PK4.5 | ENLARGED PLANS           | • | • |
| PK6.1 | PARKING DETAILS          | • | • |
| 10    |                          |   |   |

6-STRUCTURAL S6.01 PARKING DETAILS

# SEPARATE SUBMITTALS

THE FOLLOWING PORTIONS OF WORK SHABB BE SEPARATELY SUBMITTED TO THE BUILDING DEPARTMENT FOR

3. EXTERIOR SIGNAGE

| Sheet<br>Number | Sheet Name   |
|-----------------|--|
| Turnson         | Chot Hamo  |
| M.EV.001        | ABBREVIATION, GENERAL NOTES, LEGEND AND DRAWING LIST |
| M.EV.100        | PART PLAN & SCHEDULES                                |
| M.EV.601        | DETAILS AND CONTROLS                                 |
| 3               |  |
|                 |  |
| E.EV.001        | ABBREVIATION, GENERAL NOTES, LEGEND AND DRAWING LIST |
| E.EV.003        | SITE PLAN  |
| E.EV.601        | DETAILS AND PANEL SCHEDULES                          |
| 3               |  |

ADDRESS: ASSESSOR'S PARCEL NO.: 531510-1015 PLAT BLOCK:

<u>PLAT LOT</u> 7 THRU 12

### <u>BUILDING HEIGHT:</u> 5-STORIES BUILDING AREA: LEVEL 00 31,041 SF

LEVEL 03 28,306 SF LEVEL 04 12,956 SF TOTAL 145,687 SF <u>TYPE OF CONSTRUCTION:</u> TYPE 1A

ROOF CONSTRUCTION 1.5 HOURS

MANUAL PULL STATIONS: PROVIDED NOT REQUIRED / NOT PROVIDE

PROVIDED THROUGHOUT MIXED OCCUPANCY CLASSIFICATION:

OCCUPANCY TYPE:

VICINITY MAP



SITE LOCATION MAP



REVIEW, APPROVAL AND PERMITTING. 1. INTERIOR TI (PREVIOUSLY SUBMITTED) 2. ELECTRICAL

| Sheet<br>Number | Sheet Name   |  |
|-----------------|--|--|
|                 |  |  |
| M.EV.001        | ABBREVIATION, GENERAL NOTES, LEGEND AND DRAWING LIST |  |
| M.EV.100        | PART PLAN & SCHEDULES                                |  |
| M.EV.601        | DETAILS AND CONTROLS                                 |  |
| 3               |  |  |
|                 |  |  |
| E.EV.001        | ABBREVIATION, GENERAL NOTES, LEGEND AND DRAWING LIST |  |
| E.EV.003        | SITE PLAN  |  |
| E.EV.601        | DETAILS AND PANEL SCHEDULES                          |  |
| 3               |  |  |
|                 |  |  |

# **PROJECT INFORMATION**

<u>NAME</u> RIOT GAMES EXTERIOR UPGRADES

3033 77TH AVENUE SOUTHEAST, MERCER ISLAND, WA 98040ASSESSOR'S PARCEL NO .:

<u>LEGAL DESCRIPTION</u> MC GILVRAS ISLAND ADD LESS CO RD

<u>PROJECT DESCRIPTION</u> EXTERIOR UPGRADES TO BUILDING ENTRANCES, PARKING GARAGES, ACCESSIBILITY, NEW EXIT DISCHARGE PATHWAYS, SITE GRADING AND LANDSCAPE.

LEVEL 01 36,956 SF LEVEL 02 36,428 SF

FIRE RESISTIVE SYSTEM AND FIRE ALARM SYSTEM: SPRINKLERED PER NFPA13 QUICK RESPONSE HEADS EMERGENCY VOICE / ALARM COMMUNICATION SYSTEM REQUIRED AUTOMATIC SPRINKLER SYSTEMS NFPA 13 PROVIDED THROUGHOUT (MECHANICAL AS-BUILTS SHEET M0.0)

FIRE RESISTANCE RATING - BUILDING ELEMENTS: STRUCTURAL FRAME 3 HOURS FLOOR CONSTRUCTION 2 HOURS

FIRE DEPARTMENT STANDPIPES:

STANDPIPE HOSE IS NOT REREQUIRED AT HORIZONTAL EXIT PER 905.4 SECTION 2 EXCEPTION PORTABLE FIRE EXTINGUISHERS: REQUIRED THROUGHOUT

MECHANICAL SMOKE CONTROL SYSTEM:

EMERGENCY RESPONDER RADIO COVERAGE:

SEPARATED MIXED-USE (2 HOUR SEPARATIONS AT THE FLOOR) NON-SEPARATED MIXED-USE ON A FLOOR BY FLOOR BASIS

B OFFICE, A-2 ASSEMBLY, A-3 ASSEMBLY, S-1 STORAGE, S-2 STORAGE APPLICABLE CODES: 2018 International Building Code (IBC) with Washington State and Mercer Island amendments

2018 International Fire Code (IFC) with Washington State and Mercer Island amendments 2018 International File Code (IFC) with Washington State and Mercer Island amendments 2018 International Existing Building Code (IEBC) with Washington State and Mercer Island amendments 2018 International Mechanical Code (IMC) 2018 International Fuel Gas Code (IFGC) 2018 Uniform Plumbing Code (UPC)

2018 International Fire Code (IFC) Washington State Energy Code (WCEC)

ICC/ANSI A117.1-09, Accessible and Usable Buildings and Facilities, with statewide and City amendments

Mercer Island

- SITE

FACTORIA

**RIOT GAMES** 3003 77th Avenue SoutheastMercer Island

WA 98040



1200 Sixth Avenue Suite 500 Seattle, WA 98101 United States

Tel 206.654.2100 Fax 206.654.2121

**∆** Date Description 05/10/2023 ISSUE CD 90% 05/19/2023 ISSUE FOR PERMIT

Seal / Signature

- SITE

TATE OF WASHIN

Project Name Riot Games Seattle - Exterior Upgrades Project Number 05.3853.000 Description PROJECT INFO AND DRAWING INDEX

Scale

G0.10 © 2023 Gensler

# **FIRE PROTECTON NOTES**

| 1  | PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS TH<br>TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AI<br>AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPAR<br>TABLE 906.3 (1).  |
|----|---|
| 2  | PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOW<br>ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR C<br>INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. CO<br>2018 IBC 1013.   |
| 3  | PROVIDE EMERGENCY LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. CODES. 2018 IBC 1008.2.1.   |
| 4  | MAINTAIN AISLES AT LEAST 44" WIDE AT PUBLIC AREAS. 2018 IBC 1020.2.   |
| 5  | EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE US KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APP SHALL HAVE APPROVED LEVER HANDLES. 2018 IBC 1010.1.9.  |
| 6  | DOORS OPENING INTO REQUIRED RATED, FIRE-RESISTIVE CORRIDORS SHA<br>SMOKE OR DRAFT STOP ASSEMBLY HAVING A RATING AS REQUIRED, AND S<br>IBC 716.5.  |
| 7  | FIRE RATED DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTR  |
| 8  | EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 ANY HAZARDOUS AREA. 2018 IBC 1010.1.2.1.  |
| 9  | INTERIOR WALL & CEILING FINISHES SHALL BE CLASSIFIED INTO THE FOLLO<br>IBC):  |
| 9A | CLASS A: FLAME SPREAD INDEX 0-25 & SMOKE DEVELOPED INDEX 0-450,   |
| 9B | CLASS B: FLAME SPREAD INDEX 26-75 & SMOKE DEVELOPED INDEX 0-450, AN   |
| 9C | CLASS C: FLAME SPREAD INDEX 76-200 & SMOKE DEVELOPED INDEX 0-450  |
| 10 | COMBUSTIBLE DECORATIVE MATERIALS OTHER THAN VEGETATION (CURTAI<br>HANGINGS, ETC.) SHALL COMPLY WITH 2018 IBC 806.   |
| 11 | PROVIDE FIRE DAMPERS, DOORS, OR FIRE/SMOKE DAMPERS AS REQUIRED<br>PENETRATE FIRE-RATED WALLS OR CEILINGS, COMPLY WITH 2018 IBC SECT<br>MECHANICAL DRAWINGS.   |
| 12 | STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQU<br>HAZARDOUS SUBSTANCES SHALL COMPLY WITH SEATTLE FIRE CODE REGU  |
| 13 | WOOD BLOCKING, WHERE PERMITTED, SHALL BE FIRE TREATED IN ACCORD REQUIREMENTS. 2018 IBC 603.   |
| 14 | EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO<br>LIFE SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLE<br>OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.   |
| 15 | LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES AS REQUIRED PE<br>LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWA<br>LOCATIONS IN FIELD PRIOR TO INSTALLATION.  |
| 16 | EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING T<br>FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THA<br>2018 IBC 907.5, 2009 ICC A117.1 702.   |
| 17 | EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS<br>APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO F<br>APPROVAL PRIOR TO INSTALLATION. COORDINATE INSTALLATION AND REL<br>WITH REFLECTED CEILING PLAN.  |
| 18 | AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED<br>REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIE<br>ATTENDED LOCATION. 2018 IBC 903.4.  |
| 19 | PROVIDE EXIT SIGNS, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, FIRE DI<br>AND EXTERIOR EGRESS DOORS) AND ADDRESS POSTING LOCATIONS TO BE<br>INSPECTOR.   |
| 20 | THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS<br>DOORS, SHALL NOT EXCEED 5 POUNDS (APPLIED AT LATCH SIDE OF DOOR).<br>DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHAL<br>TO A 15 POUND FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A<br>THE DOOR SHALL SWING TO A FULL-OPEN POSITION WHEN SUBJECTED TO A |
| 21 | EXIT SIGNS, INTERNAL OR EXTERNAL SHALL BE ILLUMINATED AT ALL TIMES<br>EMERGENCY ELECTRICAL SYSTEM FROM STORAGE BATTERIES, UNIT EQUIP  |

| FI | RE PROTECTON NOTES   | <b>P</b> ( | OWER AND COMMUNICATION NOTES   |
|----|--|------------|--|
| 1  | PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A10BC WITHIN 75 FOOT<br>TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS<br>AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR. 2018 IBC                       | 1          | PRIOR TO CORING SLAB, COORDINATE AND REVIEW LOCATIONS WITH OWNER, ARCHITECT, ELECTRICAL ENGINEER, AND OWNER'S FURNITURE, IT, AND AV VENDORS.   |
| 2  | TABLE 906.3 (1).<br>PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND<br>ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD<br>INSPECTOR, CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS, COMPLY WITH BUILDING CODES.                  | 2          | GC TO COORDINATE INSTALLATION OF FURNITURE, MILLWORK, AV, TELECOMMUNICATIONS, DATA AND<br>SECURITY SYSTEMS WITH ARCHITECT, OWNER, AND OWNER'S VENDORS. NOTIFY OWNER AND ARCHITECT<br>OF COORDINATION ISSUES PRIOR TO FABRICATION AND INSTALLATION.   |
| 0  | 2018 IBC 1013.   | 3          | VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.  |
| 3  | PROVIDE EMERGENCY LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY WITH BUILDING CODES. 2018 IBC 1008.2.1.   | 4          | VERIFY MOUNTING REQUIREMENTS OF ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT.   |
| 4  | MAINTAIN AISLES AT LEAST 44" WIDE AT PUBLIC AREAS. 2018 IBC 1020.2.  | 5          | GANG ADJACENT LIGHT SWITCHES AND COVER WITH A SINGLE PLATE. PROVIDE LIGHT SWITCHING IN CONFORMANCE WITH LOCAL JURISDICTION REQUIREMENTS AND PROJECT  |
| 5  | EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES. 2018 IBC 1010.1.9.   | 7          | LEED GOALS. UNLESS OTHERWISE INDICATED, FOR ROOMS OR AREAS GREATER THAN 100 SQUARE FEET PROVIDE DOUBLE SWITCHES WITH EACH SWITCH CONTROLLING 50% OF LAMPS PER FIXTURE.   |
| 6  | DOORS OPENING INTO REQUIRED RATED, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A RATING AS REQUIRED, AND SHALL BE SELF-CLOSING. 2018 IBC 716.5.   |            | JURISDICTION AND ADA GUIDELINES, U.O.N. THE MAX. HEIGHT FOR CONTROLS, SWITCHES, RECEPTACLES,<br>OUTLETS AND THERMOSTATS IS 48" A.F.F. WHEN THERMOSTATS AND LIGHT SWITCH OCCUR TOGETHER,<br>INSTALL BOTH ALIGNED HORIZONTALLY PER TYPICAL MOUNTING HEIGHTS DETAILS.   |
| 7  | FIRE RATED DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED. 2018 IBC 716.2.   | 8          | INDICATED DIMENSIONS ARE TO THE CENTER LINE OF OUTLET OR SWITCH, OR CLUSTER OF OUTLETS OR SWITCHES, UNLESS OTHERWISE NOTED.  |
| 8  | EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA. 2018 IBC 1010.1.2.1.<br>INTERIOR WALL & CEILING FINISHES SHALL BE CLASSIFIED INTO THE FOLLOWING CATEGORIES (PER 2018  | 9          | INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES. DO NOT INSTALL BACK-TO-BACK.  |
|    | IBC):  | 10         | RECEPTACLES AND RELATED ITEMS, U.O.N. AT SPECIAL FINISH WALLS (WOOD, TILE, ETC.) USE STAINLESS   |
|    | CLASS A: FLAME SPREAD INDEX 0-25 & SMOKE DEVELOPED INDEX 0-450,  |            | STEEL COVER PLATES.  |
|    | CLASS B: FLAME SPREAD INDEX 26-75 & SMOKE DEVELOPED INDEX 0-450, AND   | 11         |  |
|    | CLASS C: FLAME SPREAD INDEX 76-200 & SMOKE DEVELOPED INDEX 0-450<br>COMBUSTIBLE DECORATIVE MATERIALS OTHER THAN VEGETATION (CURTAINS, DRAPES, SHADES,  | 12         | ALL OUTLETS SHOWN ARE NEW U.O.N. ALL NEW ELECTRICAL OUTLETS TO BE INSTALLED @ 18" A.F.F. TO COMPLY WITH TITLE 24 REQUIREMENTS, U.O.N   |
| 10 | HANGINGS, ETC.) SHALL COMPLY WITH 2018 IBC 806.  | 13         | INSTALL ADJACENT TELEPHONE & ELECTRICAL OUTLETS AT 6" ON CENTER, U.O.N., SEE TYPICAL MOUNTING HEIGHTS DETAIL.  |
| 11 | PROVIDE FIRE DAMPERS, DOORS, OR FIRE/SMOKE DAMPERS AS REQUIRED WHERE AIR DUCTS<br>PENETRATE FIRE-RATED WALLS OR CEILINGS, COMPLY WITH 2018 IBC SECTION 714 & 717. SEE ALSO<br>MECHANICAL DRAWINGS.   | 14         |  |
| 12 | STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH SEATTLE FIRE CODE REGULATIONS. 2018 IBC 414 & 415.  | 15         |  |
| 13 | WOOD BLOCKING, WHERE PERMITTED, SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS. 2018 IBC 603.   | 17         | ETC & THEIR SUPPORTS.  |
| 14 | EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/   | 18         |  |
| 15 | LIFE SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE<br>OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.<br>LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES AS REQUIRED PER 2009 ICC A117.1, ABOVE THE   | 19         | WHERE ELECTRICAL WORK IS SPECIFIED IN CONJUNCTION WITH CABINET WORK, LAMPS & FIXTURES SHALL<br>BE PROVIDED BY THE GENERAL CONTRACTOR. CUT-OUTS FOR SWITCHES, OUTLETS, ETC., AS REQUIRED BY<br>THE CABINET CONTRACTOR, SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR, U.O.N   |
| 16 | LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK. COORDINATE ALL<br>LOCATIONS IN FIELD PRIOR TO INSTALLATION.<br>EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED.<br>FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE. | 20         | GC TO COORDINATE ALL DEVICE LOCATIONS FROM ELECTRICAL, AV, MECHANICAL, IT AND OTHER PLANS.<br>ARCHITECTURAL DRAWINGS TAKE PRECEDENCE ON LOCATION OF DEVICES.   |
|    | 2018 IBC 907.5, 2009 ICC A117.1 702.   | 21         | PROVIDE PULL STRINGS IN ALL EMPTY CONDUIT AND J-BOXES.   |
| 17 | APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT AND OBTAIN APPROVAL PRIOR TO INSTALLATION. COORDINATE INSTALLATION AND RELOCATION OF SPRINKLER HEADS   | FI         | NISH NOTES   |
| 18 | WITH REFLECTED CEILING PLAN.<br>AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR<br>REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY  | 1          | ALL WALLS, FLOORS AND CEILING FINISHES SHALL COMPLY WITH SECTION 2018 IBC SECTION 803 & 804.   |
| 19 | ATTENDED LOCATION. 2018 IBC 903.4.<br>PROVIDE EXIT SIGNS, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, FIRE DEPT LOCK BOX (AT STAIRWELL   | 2          | ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT<br>PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK<br>SHOULD INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE.   |
|    | AND EXTERIOR EGRESS DOORS) AND ADDRESS POSTING LOCATIONS TO BE VERIFIED IN FIELD BY FIRE INSPECTOR.  | 3          | REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.  |
| 20 | DOORS, SHALL NOT EXCEED 5 POUNDS (APPLIED AT LATCH SIDE OF DOOR). FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30 POUND FORCE.                                       | 4          | PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISH MATERIALS, SUBMIT SAMPLES TO ARCHITECT FOR<br>REVIEW IN CONFORMANCE WITH SPECIFIED PROCEDURES. ALLOW TIME FOR SUBMITTAL REVIEW AND FOR<br>RESUBMITTALS IF REQUIRED.  |
| 21 | THE DOOR SHALL SWING TO A FULL-OPEN POSITION WHEN SUBJECTED TO A 15 POUND FORCE.<br>EXIT SIGNS, INTERNAL OR EXTERNAL SHALL BE ILLUMINATED AT ALL TIMES AND PROVIDED WITH AN<br>EMERGENCY ELECTRICAL SYSTEM FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON SITE  | 5          | COORDINATE INSTALLATION OF RESILIENT BASE WITH MILLWORK. DELETE WALL BASE WHERE BUILT-IN<br>CABINETS ARE INDICATED. INSTALL BASE AT TOE SPACE AS SCHEDULED.<br>ALL PAINT FINISH OF METAL PARTS OF DOORS, PERIMETER ENCLOSURES, ETC. SHALL BE SEMI-GLOSS,   |
|    | GENERATOR SET TO ENSURE CONTINUED ILLUMINATION FOR AT LEAST 1.5 HOURS IN CASE OF PRIMARY POWER LOSS.   | -          |  |
| 22 | PROVIDE AUDIO / VISUAL CUT OFF RELAYS IN AREAS OF LOUD MUSIC AND / OR AREAS WERE SOMEONE COULD BE DISTRACTED BY NON-EMERGENCY SOUNDING EQUIPMENT.  | 8          | ALL FLOOR MATERIAL TRANSITIONS OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION, U.O.N.<br>FLOAT ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO FLOORING INSTALLATIONS. FEATHER<br>FLOOR AS REQUIRED FOR ALL FINISH TRANSITIONS.  |
|    |  | 9          | CARPET CONTRACTOR MUST VERIFY EXISTING FLOOR CONDITIONS PRIOR TO BID & INSTALLATION.   |
|    |  | 10         | CARPET SEAMING DIAGRAM TO BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PLACING ORDER.  |
|    |  | 11         | U.O.N., PROVIDE 1/8" BRUSHED STAINLESS STEEL SCHLUTER STRIP AT CARPET/STONE OR CARPET/CERAMIC TILE THRESHOLD.  |
|    |  | 12         | ALL ADHESIVES, SEALANTS, AND CAULKS TO BE LESS THAN OR EQUAL TO THE VOC LIMITS ON TABLES 5.504.4.1 "ADHESIVE VOC LIMIT", 5.504.4.2 "SEALANT VOC LIMIT", & 5.504.4.3 "VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS" PER THE 2016 CGBSC.  |
|    |  | 13         |  |
|    |  | 14         | ALL CARPETS & CARPET CUSHION SHALL MEET THE REQUIREMENTS OF THE CARPET & RUG INSTITUTE'S<br>GREEN LABEL PLUS PROGRAM PER SECTION 2016 CGBSC 5.504.4.4 & 5.504.4.4.1. CARPET ADHESIVES SHALL<br>BE LESS THAN OR MEET THE REQUIREMENTS OF TABLE 5.504.4.1 PER THE 2016 CGBSC.  |
|    |  | 15         | COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH SECTION 5.504.4.5 AND BE LESS THAN OR MEET THE<br>FORMALDEHYDE LIMITS PER TABLE 504.4.5 & SECTION A5.504.4.5.1 OF THE 2016 CGBSC. VERIFICATION OF<br>COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY, AND<br>SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING: PRODUCT CERTIFICATIONS AND SPECIFICATIONS; CHAIN<br>OF CUSTODY CERTIFICATIONS; AND/OR OTHER METHOD ACCEPTABLE TO THE ENFORCING AGENCY. |
|    |  | 16         |  |
|    |  | 17         | FLOORS OF RESTROOMS TO BE FINISHED WITH SMOOTH, HARD, NON-ABSORBENT MATERIALS WHICH<br>EXTEND MINIMUM 4" UP SURROUNDING WALLS TO PROVIDE A CONTINUOUS, INTEGRAL BASE. SEE INTERIOR<br>ELEVATIONS AND FINISH PLAN.  |
|    |  | 18         | WALL FINISHES AT MOP SINKS IN JANITOR CLOSETS TO BE FINISHED WITH SMOOTH, HARD, NON-ABSORBENT<br>MATERIALS WHICH EXTEND TO MIN. HEIGHT OF 48" A.F.F. WITHIN 48" OF MOP SINK, U.O.N. ALSO, SEE<br>SPECIFICATIONS.   |
|    |  | 19         | WET WALLS OF RESTROOMS TO BE FINISHED WITH SMOOTH, HARD, NON-ABSORBENT MATERIALS TO A<br>HEIGHT OF 48" AFF OVER A MOISTURE-RESISTANT UNDERLAYMENT. SEE INTERIOR ELEVATIONS &<br>SPECIFICATIONS.  |
|    |  | 20         | ALL PAINTINGS & COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3 PER FOOTNOTE 3 IN THE 2016 CGBSC.  |
|    |  |            |  |

- 21 ALL THERMAL INSULATION SHALL COMPLY WITH STANDARDS LISTED IN SECTIONS A4.504.3 & A5.504.4.8 OF THE 2016 CGBSC.
- 22 ACOUSTICAL CEILING & WALL PANELS SHALL COMPLY WITH CHAPTER 8 IN TITLE 24, PART 2 & WITH THE VOC LIMITS DEFINED IN THE 2009 CHPS CRITERIA PER SECTION A5.504.4.9 PER THE 2016 CGBSC.
- 23 ALL WOOD FINISHES TO BE FSC CERTIFIED, U.O.N.

| 1    | IN BUILDINGS AND FACILITIES, FLOORS OF A GIV<br>SHALL BE CONNECTED BY PEDESTRIAN RAMPS,  |
|------|--|
| 2    | FLOOR SURFACES SHALL BE SLIP-RESISTANT.  |
| 3    | EVERY CORRIDOR AND AISLE SERVING AN OCCU<br>IN WIDTH.  |
| 4    | ABRUPT CHANGES IN LEVEL ALONG ANY ACCESS<br>CHANGES NOT EXCEEDING 1/4" MAY BE VERTICA  |
| 5    | LATCHING AND LOCKING DOORS THAT ARE HAND<br>BE OPERABLE WITH A SINGLE EFFORT BY LEVER<br>BARS, OR OTHER HARDWARE DESIGNED TO PRO<br>GRASP THE OPENING HARDWARE. MOUNT DOOD<br>FLOOR FINISH.                            |
| 6    | THE FORCE FOR PUSHING OR PULLING OPEN A D<br>DOORS AND GATES: 5 LBS MAX. 2) SLIDING OR F<br>MIN. OPENING FORCE ALLOWABLE BY APPROPRI<br>4) EXTERIOR HINGED DOORS: 5 LBS MAX.   |
| 7    | THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDIN<br>UNINTERRUPTED SURFACE TO ALLOW THE DOOL<br>CREATING A TRAP OR HAZARDOUS CONDITION.<br>NARROW FRAME DOORS.  |
| 8    | EVERY REQUIRED ENTRANCE OR PASSAGE DOO<br>LESS THAN 6'-8" IN HEIGHT. DOORS SHALL BE C<br>SO MOUNTED THAT THE CLEAR WIDTH OF THE D  |
| 9    | WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST<br>UNOBSTRUCTED OPENING WIDTH OF 32" WITH TH<br>ITS CLOSED POSITION.   |
| 10   | IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEA<br>DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FRO   |
| 11   | THE FLOOR OR LANDING ON EACH SIDE OF AN E<br>THE LEVEL AND CLEAR AREA SHALL HAVE A LEN<br>AND THE LENGTH OPPOSITE THE DIRECTION OF<br>THE PLANE OF THE DOOR IN ITS CLOSED POSITION<br>HAVE LATCH OR CLOSER OR EITHER). |
| 12   | TO ALERT THE VISUALLY IMPAIRED, MARK THE U<br>INTERIOR STAIR WITH A STRIP OF CLEARLY CON<br>AND NOT MORE THAN 1" FROM THE NOSE OF TH<br>THAT IS AT LEAST AS SLIP RESISTANT AS THE OT                                   |
| 13   | CENTER ELECTRICAL RECEPTACLE OUTLETS NO PLATFORM.  |
| 14   | SANITARY FACILITIES LOCATED ON AN ACCESSIE   |
| 15   | ENTRY TO SANITARY FACILITIES:  |
| 15.1 | 44" CLEAR AISLES OR CORRIDORS WHERE OCCU   |
| 15.2 | DOORWAYS TO HAVE A 32" CLEAR OPENING.  |
| 15.3 | ON APPROACH SIDE, PROVIDE A 60" CLEAR LEVE<br>SPACE WHEN DOOR SWINGS AWAY FROM APPP  |
| 16   | TOILET ROOM ACCESSORIES:   |
| 16.1 | MOUNT BOTTOM EDGE OF A MIRROR'S REFLECT  |
|      | MOUNT TOILET TISSUE DISPENSERS WITHIN 7"-9   |
| 16.3 | MOUNT DISPENSING AND DISPOSAL FIXTURES (T<br>HIGHEST OPERATING PARTS NO HIGHER THAN 4  |
| 17   | SINGLE ACCOMMODATION TOILET FACILITY   |
| 17.1 | AND 56" MIN. MEASURED FROM REAR WALL, PER  |
| 17.2 | A MIN. OF 60" WIDE AND 48" DEEP MANEUVERING<br>CLOSET, PER 11B-604.3.1.  |
| 17.3 | THE REQUIRED CLEARANCE AROUND THE WATE<br>CLOSET, GRAB BARS, DISPENSERS, SANITARY N<br>ACCESSIBLE ROUTES, CLEAR FLOOR SPACE AND<br>NO OTHER FIXTURES OR OBSTRUCTIONS SHALL<br>CLEARANCE.                               |
| 18   | THE HEIGHT OF THE WATER CLOSET (TOP OF SE  |
| 19   | MOUNT FLUSH VALVE CONTROL NO MORE THAN<br>THE GREATEST SEPARATION FROM ADJACENT V  |
| 20   | PROVIDE GRAB BARS ON EACH SIDE, OR ONE SIL   |
| 20.1 | GRAB BARS TO BE INSTALLED HORIZONTAL, 33" -<br>SURFACE.  |
| 20.2 | SIDE BARS TO BE 42" LONG AND PROJECT 24" MI<br>GRAB BAR AT BACK TO BE 36" LONG.  |
| 20.3 | DIAMETER OF GRAB BARS TO BE 1-1/4" TO 2".  |
| 20.4 | PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BAR  |
| 20.5 | GRAB BARS (INCLUDING CONNECTORS, FASTENI<br>POUND LOAD.  |
| 20.6 | GRAB BARS SHALL NOT ROTATE WITHIN THEIR F  |
|      | GRAB BARS AND ANY ADJACENT SURFACE SHAL  |
|      | EDGES OF GRAB BARS SHALL HAVE A MINIMUM F  |
| 21   | PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRO   |
| 22   | MOUNT LAVATORIES WITH A MINIMUM CLEARANG<br>APRON. PROVIDE KNEE CLEARANCE UNDER TH<br>8" MINIMUM WIDTH, AND SHALL BE A MINIMUM O<br>THE FRONT OF THE LAVATORY.   |
| 23   | FAUCET CONTROLS AND OPERATING MECHANIS<br>REQUIRE TIGHT GRASPING, PINCHING OR TWIST<br>CONTROLS SHALL BE NO GREATER THAN 5 POU<br>CONTROLLED MECHANISMS ARE EXAMPLES OF<br>FAUCET REMAINS OPEN FOR AT LEAST 10 SECC    |
| 24   | INSULATE OR OTHERWISE COVER HOT/COLD WA  |

| ACCESSIBILITY NOTES   | REFLECTED CEILING NOTES   | GENERAL NOTES  |
|---|---|--|
| <ol> <li>IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR<br/>SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS.</li> <li>FLOOR SURFACES SHALL BE SLIP-RESISTANT.</li> </ol>   | 1 UNLESS OTHERWISE INDICATED OR REQUIRED, DESIGN SUSPENDED CEILING FRAMING SYSTEMS TO RESIST A<br>LATERAL FORCE OF 20% OF THE WEIGHT OF THE CEILING ASSEMBLY AND ANY LOADS TRIBUTARY TO THE<br>SYSTEM. USE A MINIMUM CEILING WEIGHT OF 5 POUNDS PER SQUARE FOOT TO DETERMINE THE LATERAL<br>FORCE. REFERENCE THE INSTALLATION OF THE SUSPENDED CEILING SYSTEM TO COMPLY WITH 2018 IBC,<br>ASCE 7-10 AND ASTM C635 AND C636. | <ol> <li>COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES<br/>GOVERNING THE WORK.</li> <li>OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE</li> </ol>   |
| 3 EVERY CORRIDOR AND AISLE SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS THAN 44"<br>IN WIDTH.   | 2 WHERE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND WHERE PARTITIONS ARE NOT<br>CONNECTED TO THE CEILING SYSTEM, THE FOLLOWING BRACING METHODS MAY BE EMPLOYED:  | WORK.<br>3 REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS<br>REVIEW DADLE AS SHOWN, DEPORT ANY CONFLICTS OF AMISSIONS TO THE ADOLITECT FOR CLARIFICATION.   |
| 4 ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL<br>CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS WITH A SLOPE NO GREATER THAN 1:2  | 2.1 PROVIDE LATERAL SUPPORT BY FOUR WIRES OF MINIMUM NO. 12 GAUGE SPLAYED IN FOUR DIRECTIONS 90<br>DEGREES APART, AND CONNECTED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER AND TO THE<br>STRUCTURE ABOVE AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. PROVIDE  | <ul> <li>BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION<br/>PRIOR TO BIDDING OR PERFORMING ANY WORK IN QUESTION.</li> <li>4 SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO<br/>PURCHASE, FABRICATION OR INSTALLATION. SEE ALSO PROJECT SPECIFICATIONS.</li> </ul> |
| 5 LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL<br>BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING<br>BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO<br>GRASP THE OPENING HARDWARE. MOUNT DOOR OPENING HARDWARE BETWEEN 34" AND 44" ABOVE<br>FLOOR FINISH.       | THESE LATERAL SUPPORT POINTS 12 FEET ON CENTER IN EACH DIRECTION, WITH THE FIRST POINT WITHIN 4'<br>FROM EACH WALL.<br>2.2 ALLOW FOR LATERAL MOVEMENT OF THE SYSTEM. ATTACH MAIN RUNNERS AND CROSS RUNNERS AT TWO   | 5 COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES,<br>BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE<br>DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.  |
| 6 THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR FATE SHALL BE AS FOLLOWS: 1) INTERIOR HINGED<br>DOORS AND GATES: 5 LBS MAX. 2) SLIDING OR FOLDING DOORS: 5 LBS MAX. 3) REQUIRED FIRE DOORS: THE<br>MIN. OPENING FORCE ALLOWABLE BY APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS.  | ADJACENT WALLS. MAINTAIN CLEARANCE BETWEEN THE WALL AND THE RUNNERS AT THE OTHER TWO WALLS.<br>2.3 PROVIDE VERTICAL SUPPORT AS REQUIRED IN BUILDING CODES. IN ADDITION, VERTICALLY SUPPORT ENDS OF<br>RUNNERS WITHIN 8' OF DISCONTINUITIES SUCH AS MAY OCCUR WHERE THE CEILING IS INTERRUPTED BY A<br>WALL.   | 6 OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE<br>SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE<br>ORDERLY SEQUENCE OF INSTALLATION  |
| <ul> <li>4) EXTERIOR HINGED DOORS: 5 LBS MAX.</li> <li>7 THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH<br/>UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT<br/>CREATING A TRAP OR HAZARDOUS CONDITION. PROVIDE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF</li> </ul>  | 2.4 SUPPORT LIGHT FIXTURES AND AIR DIFFUSERS DIRECTLY BY WIRES TO THE STRUCTURES ABOVE.   | GC TO COORDINATE FURNITURE, SIGNAGE, GRAPHICS, TELECOMMUNICATIONS, DATA AND SECURITY<br>SYSTEM INSTALLATIONS WITH ARCHITECT, OWNER, AND OWNER'S VENDORS TYPICAL. NOTIFY OWNER AND<br>ARCHITECT OF COORDINATION ISSUES PRIOR TO FABRICATION AND INSTALLATION TYPICAL.   |
| <ul> <li>NARROW FRAME DOORS.</li> <li>8 EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE NOT LESS THAN 36" IN WIDTH AND NOT</li> </ul>   | 3 LOCATE REGISTERS, LIGHTING FIXTURES, SPRINKLER HEADS, SPEAKERS, RECESSED FIXTURES, AND SIMILAR<br>CEILING ELEMENTS CENTERED IN ACOUSTICAL TILES TYP, U.O.N SEE ALSO REFLECTED CEILING PLANS;<br>ARCHITECTURAL PLANS GOVERN.   | 8 MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES<br>AND ORDINANCES.  |
| LESS THAN 6'-8" IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32".  | 4 FINISH HVAC DIFFUSERS, DRAPERY POCKETS, CONCEALED SPRINKLER HEAD COVERS AND SPEAKER GRILLES<br>TO MATCH ADJACENT FINISH, U.O.N  | <ul> <li>9 PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.</li> <li>10 MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND</li> </ul>   |
| <ul> <li>9 WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR,<br/>UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM<br/>ITS CLOSED POSITION.</li> <li>40 IDENTIFY (ACCESSIBLE ENTRANCES WITH AT LEAST ONE OT AND ADD VIETLADDITIONAL</li> </ul>  | 5 LOCATIONS OF CEILING PENETRATIONS, SUCH AS AIR DIFFUSERS, GRILLES, LIGHT FIXTURES, ETC. SHALL BE<br>AS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. NOTIFY ARCHITECT OF DISCREPANCIES WITH<br>FIELD CONDITIONS OR CONSULTANT DRAWINGS FOR CLARIFICATION, PRIOR TO FABRICATION AND<br>INSTALLATION.   | <ul> <li>LANDLORD TO ENSURE SECURITY.</li> <li>11 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.</li> </ul>   |
| <ul> <li>10 IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL<br/>DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.</li> <li>11 THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR.<br/>THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60"</li> </ul> | 6 WHEN CEILING INTERRUPTIONS OCCUR, SUCH AS PARTITIONS, FURR DOWNS, ETC., THEY SHALL BE CHECKED<br>AND THEIR CONSTRUCTABILITY VERIFIED PRIOR TO CONSTRUCTION. SHOULD QUESTIONS REGARDING SUCH<br>INTERRUPTIONS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE<br>ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.  | 12 PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN<br>DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.   |
| AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48" AS MEASURED AT RIGHT ANGLES TO<br>THE PLANE OF THE DOOR IN ITS CLOSED POSITION. (A 44" MIN. LANDING IS ACCEPTABLE IF DOOR DOES NOT<br>HAVE LATCH OR CLOSER OR EITHER).   | 7 IN GYP. BD. SOFFITS AND CEILINGS, CONCEALED SPRINKLER HEADS TO BE USED. IN NEW ACT CEILINGS,<br>SPRINKLER TO MATCH NEW LEVEL AT RECESSED SPRINKLERS.  | <ul> <li>GC COORDINATE AND PROVIDE BACKING FOR MILLWORK AND EQUIPMENT ITEMS AS ATTACHED, MOUNTED OR BRACED TO WALLS OR CEILINGS.</li> <li>ALL DOORS SHALL BE TRIMMED AT THRESHOLD TO PROVIDE 1/4" MIN. / 3/4" MAX, CLEARANCE (U.O.N.) ABOVE</li> </ul>   |
| 12 TO ALERT THE VISUALLY IMPAIRED, MARK THE UPPER APPROACH AND THE LOWER TREAD OF EACH<br>INTERIOR STAIR WITH A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE, PLACED PARALLEL TO<br>AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE STRIP SHALL BE OF A MATERIAL  | 8 THERE SHALL BE NO COMBUSTIBLE MATERIALS USED IN THE PLENUM SPACE, INCLUDING ALUMINUM FLEX,<br>ALUMINUM CONDUIT, AND POT METAL CONNECTORS. ALL CONNECTORS SHALL BE STEEL.  | <ul> <li>ALL DOORS SHALL BE TRIVINED AT THRESHOLD TO PROVIDE 1/4 MIN. / 3/4 MAX, CLEARANCE (0.0.N.) ABOVE FLOOR FINISH MATERIAL TO ALLOW FOR FULL DOOR SWING.</li> <li>GC TO COORDINATE WITH LANDLORD OF ANY RELOCATION OF (E) SERVICE LINES, SUCH AS WATER LINE,</li> </ul>   |
| <ul> <li>THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.</li> <li>13 CENTER ELECTRICAL RECEPTACLE OUTLETS NOT LESS THAN 18" ABOVE THE FLOOR OR WORKING PLATFORM.</li> </ul>  | 9 LOCATE RECESSED DOWN LIGHTS, WALL WASHERS AND SPOT LIGHTS IN CENTER OF CEILING TILES SO THAT<br>LIGHT IS NOT LESS THAN 18" OR MORE THAN 30" FROM FACE OF WALL, U.O.N. EARTHQUAKE CLIPS AND WIRES<br>WILL BE USED.   | <ul> <li>GAS LINE, DOMESTIC WATER, ETC.</li> <li>16 THE OPENING FORCE FOR INTERIOR SIDE-SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 5<br/>POUND FORCE. FOR OTHER SIDE-SWINGING, SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL</li> </ul>   |
| 14 SANITARY FACILITIES LOCATED ON AN ACCESSIBLE FLOOR OF A BUILDING SHALL BE ACCESSIBLE.  | <ul> <li>10 CONDUIT MUST BE A MINIMUM OF 8" CLEAR ABOVE THE CEILING GRID.</li> <li>11 AVERAGE LEVEL OF LIGHTING THROUGHOUT AS REQUIRED TO MEET LOCAL JURISDICTION REQUIREMENTS</li> </ul>   | <ul> <li>RELEASE WHEN SUBJECTED TO A 15 POUND FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE.</li> <li>17 HORIZONTAL MOVABLE PARTITIONS (AS PART OF A COMPONENT OF A MEANS OF EGRESS) SHALL BE<br/>OPENABLE BY A SIMPLE METHOD FROM BOTH SIDES WITHOUT SPECIAL KNOWLEDGE OR EFFORT. THE</li> </ul>   |
| <ul><li>15 ENTRY TO SANITARY FACILITIES:</li><li>15.1 44" CLEAR AISLES OR CORRIDORS WHERE OCCUPANT LOAD IS 10 OR MORE.</li></ul>  | AND PROJECT LEED GOALS.<br>12 THE CONTRACTOR SHALL PROVIDE RECORD DOCUMENTATION. SAID DOCUMENTATION SHALL BE SUBMITTED<br>TO ARCHITECT PRIOR TO APPLICATION FOR FINAL PAYMENT.  | FORCE REQUIRED TO OPERATE THE DOOR SHALL NOT EXCEED 30 POUNDS TO SET THE DOOR IN MOTION<br>AND 15 POUNDS TO CLOSE THE DOOR OR OPEN IT TO THE MINIMUM REQUIRED WIDTH.   |
| <ul> <li>15.2 DOORWAYS TO HAVE A 32" CLEAR OPENING.</li> <li>15.3 ON APPROACH SIDE, PROVIDE A 60" CLEAR LEVEL SPACE WHEN DOOR SWINGS TOWARD APPROACH AND 48"</li> </ul>   | 13 ALL CONDUITS AND HVAC DUCTS SHALL BE INDEPENDENTLY SUSPENDED FROM THAT USED TO SUSPEND THE CEILING TILE.   | DEMOLITION NOTES   |
| <ul> <li>SPACE WHEN DOOR SWINGS AWAY FROM APPROACH.</li> <li>16 TOILET ROOM ACCESSORIES:</li> </ul>   | 14 NOTIFY ARCHITECT PRIOR TO CONSTRUCTION IF INDICATED CEILING HEIGHTS AND ELECTRICAL, MECHANICAL, PLUMBING, OR FIRE PROTECTION INSTALLATIONS CONFLICT WITH FIELD CONDITIONS.   | 1 COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO<br>SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.   |
| 16.1 MOUNT BOTTOM EDGE OF A MIRROR'S REFLECTIVE SURFACE NO HIGHER THAN 40" A.F.F  | 15 ARRANGE ITEMS ABOVE CEILING TO PROVIDE ADEQUATE CLEARANCES FOR CEILING AND ALL ASSOCIATED DEVICES.   | 2 PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE<br>CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.   |
| <ul> <li>16.2 MOUNT TOILET TISSUE DISPENSERS WITHIN 7"-9" FROM THE FRONT EDGE OF THE TOILET SEAT.</li> <li>16.3 MOUNT DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN SLOTS, ETC.) WITH HIGHEST OPERATING PARTS NO HIGHER THAN 40" FROM THE FLOOR.</li> </ul>  | 16 INSTALL ABOVE CEILING UL LISTED FLEXIBLE SPRINKLER CONNECTIONS IN ACCORDANCE WITH NFPA13<br>SEISMIC QUALIFICATIONS AND ASCE7. G.C. TO VERIFY SIGNIFICANT WATER PRESSURE TO ACCOMMODATE<br>FLEXIBLE SPRINKLER CONNECTION.   | <ul> <li>3 IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.</li> <li>4 REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER</li> </ul>   |
| 17 SINGLE ACCOMMODATION TOILET FACILITY   | 17 ACT CEILING GRID TO BE CENTERED WITHIN ENCLOSED ROOMS, U.O.N., TYP.  | MATERIALS RESULTING FROM DEMOLITION OPERATIONS.<br>5 PROTECT INTEGRITY OF BUILDING AND SITE PLUMBING, GAS AND CONDENSATE SYSTEM(S) TO REMAIN,  |
| <ul> <li>17.1 CLEARANCES AROUND A WATER CLOSET SHALL BE 60" MIN. MEASURED PERPENDICULAR FROM SIDE WALL AND 56" MIN. MEASURED FROM REAR WALL, PER 11B-604.3.1.</li> <li>17.2 A MIN. OF 60" WIDE AND 48" DEEP MANEUVERING SPACE SHALL BE PROVIDED IN FRONT OF THE WATER</li> </ul>  | <ul> <li>18 CONTRACTOR SHALL CLEAN ALL FIXTURE LAMPS AND REPLACE AS MISSING, BURN OUT OR MISMATCHED.</li> <li>19 ALL EXISTING REUSED GRILLES SHALL BE REFINISHED TO "LIKE NEW" CONDITION. ALL EXISTING DAMAGED GRILLES SHALL BE REPLACED WITH NEW.</li> </ul>   | <ul> <li>RESTROOM CORE(S), JANITOR'S CLOSET(S), GAS &amp; CONDENSATE FOR HVAC.</li> <li>6 IF REQUIRED, PROPERLY CUT AND CAP DEMOLISHED WASTE LINES BELOW SLAB OR FLUSH WITH CLEAN OUT. PROTECT AS REQUIRED TO ENSURE SEWER LINES ARE FREE FROM DEMOLITION DEBRIS. LINES</li> </ul>   |
| 17.3 THE REQUIRED CLEARANCE AROUND THE WATER CLOSET SHALL BE PERMITTED TO OVERLAP THE WATER   | 20 REWORK LIGHTING AND LIGHT SWITCHING AS REQUIRED FOR NEW ROOM CONFIGURATION.  | ARE CURRENTLY IN SERVICEABLE CONDITION. FUTURE SERVICE CALLS TO CLEAR LINES SHALL BE CONTRACTOR'S RESPONSIBILITY.  |
| CLOSET, GRAB BARS, DISPENSERS, SANITARY NAPKIN DISPOSAL UNITS, COAT HOOKS, SHELVES,<br>ACCESSIBLE ROUTES, CLEAR FLOOR SPACE AND CLEARANCES AT OTHER FIXTURES AND TURNING SPACE.<br>NO OTHER FIXTURES OR OBSTRUCTIONS SHALL BE LOCATED WITHIN REQUIRED WATER CLOSET<br>CLEARANCE.  | <ul> <li>21 REWORK EXISTING HVAC AIR DISTRIBUTION AS REQUIRED FOR NEW ROOM CONFIGURATION.</li> <li>22 REPLACE ALL EXISTING DAMAGED OR MISSING CEILING TILES AND GRID SYSTEM.</li> </ul>   | <ul> <li>7 ERECT AND MAINTAIN DUST-PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES,<br/>AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND<br/>REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.</li> <li>8 REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS</li> </ul> |
| <ul> <li>18 THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19".</li> <li>19 MOUNT FLUSH VALVE CONTROL NO MORE THAN 44" ABOVE THE FLOOR, ON THE SIDE OF THE TOILET WITH</li> </ul>  | <ul> <li>23 ARRANGE ABOVE CEILING ITEMS TO PROVIDE ADEQUATE CLEARANCES FOR CEILING AND ITS DEVICES.</li> <li>24 REMOVE ALL TAGS AND LABELS NOT REQUIRED BY CODE FROM EXPOSED DUCTWORK, CONDUIT AND PIPING.</li> </ul>   | REQUIRED FOR NEW WORK. RETURN ALL SALVAGEABLE ITEMS TO THE OWNER. DETERMINE THE<br>EXTENT OF REUSABLE MATERIAL BASED ON INFORMATION IN THE CONTRACT DOCUMENTS AND DIRECT<br>OBSERVATIONS OF EXISTING CONDITIONS.   |
| THE GREATEST SEPARATION FROM ADJACENT WALL OR OTHER SURFACE.<br>20 PROVIDE GRAB BARS ON EACH SIDE, OR ONE SIDE AND BACK OF WATER CLOSET.  | 25 IF IT IS NOT POSSIBLE TO LOCATE SPRINKLER HEADS AS REQUIRED FOR ANY REASON, INCLUDING CODE<br>REQUIREMENTS, DO NOT PROCEED WITH WORK UNTIL SUCH CONDITIONS HAVE BEEN REVIEWED WITH<br>ARCHITECT.   | <ul> <li>9 REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.</li> <li>10 REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, UNLESS</li> </ul>  |
| 20.1 GRAB BARS TO BE INSTALLED HORIZONTAL, 33" - 36" A.F.F. MEASURED TO THE TOP OF THE GRIPPING SURFACE.  | 26 EXIT SIGNS TO BE CENTERED ON THE CORRESPONDING DOOR, TYP., U.O.N.  | 11 REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR   |
| 20.2 SIDE BARS TO BE 42" LONG AND PROJECT 24" MIN. BEYOND THE FRONT EDGE OF THE WATER CLOSET.<br>GRAB BAR AT BACK TO BE 36" LONG.   | 27 GC TO PROVIDE SPRINKLER HEAD LOCATIONS FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION.<br>LOCATIONS OF ALL HEADS TO ALIGN WITH LIGHT FIXTURES U.O.N. REVIEW CONDITIONS WITH ARCHITECT IF IT<br>IS NOT POSSIBLE TO LOCATE SPRINKLER HEADS AS REQUIRED FOR ANY REASON.   | FINISHES.<br>12 PATCH AND/OR REPAIR ANY DAMAGED GYPSUM BOARD CONSTRUCTION ON THE EXISTING BASE   |
| 20.3 DIAMETER OF GRAB BARS TO BE 1-1/4" TO 2".  | CONSTRUCTION NOTES  | BUILDING AND TENANT IMPROVEMENTS, U.O.N.<br>13 ENSURE CONTINUOUS OPERATION OF EXISTING SECURITY AND FIRE/LIFE SAFETY SYSTEMS,  |
| <ul> <li>20.4 PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL.</li> <li>20.5 GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250<br/>POUND LOAD.</li> </ul>  | 1 ALL EXISTING CONSTRUCTION SHOWN TO REMAIN U.O.N.  | COORDINATE WITH OWNER PRIOR TO REMOVAL/DISCONNECT OF SECURITY OR FIRE/LIFE SAFETY<br>ITEMS ASSOCIATED WITH SCOPE OF DEMOLITION.<br>14 EXISTING ROOF TOP HVAC UNITS TO REMAIN. PROTECT AS REQUIRED TO MAINTAIN INTEGRITY OF   |
| 20.6 GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.  | 2 CONTRACTOR TO PATCH AND REPAIR ANY AREA AFFECTED BY CONSTRUCTION TO BE IN "LIKE NEW"<br>CONDITION.  | SYSTEMS.   |
| 20.7 GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.  | 3 UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR PROJECT MANAGER, GC TO PROVIDE KEYING AND<br>SIGNAGE ALLOWANCE.   | <ol> <li>ALL EXPOSED WIRING TO BE CAPPED OFF AND TERMINATED IN JUNCTION BOXES.</li> <li>ALL SALVAGED FEEDERS AND/OR BRANCH CIRCUITS SHALL BE REMOVED AT LOAD SIDE OF CIRCUIT<br/>BREAKERS, LEAVE EXISTING CIRCUIT BREAKERS INTACT, REMOVE ALL UNNECESSARY BRANCH</li> </ol>  |
| <ul> <li>20.8 EDGES OF GRAB BARS SHALL HAVE A MINIMUM RADIUS OF 1/8".</li> <li>21 PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH.</li> </ul>   | <ul> <li>4 PROVIDE AND INSTALL WINDOW TREATMENT AS NOTED IN SCOPE AREA U.O.N</li> <li>5 USE 5/8" THICK TYPE "X" GYPSUM BOARD THROUGHOUT, U.O.N</li> </ul>   | CIRCUITS AND CONDUITS AND SEAL ALL OPENINGS WITH UL APPROVED K.O. TYPE SEALS.  |
| 22 MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 29" FROM THE FLOOR TO THE BOTTOM OF THE<br>APRON. PROVIDE KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH WITH<br>8" MINIMUM WIDTH, AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR A MINIMUM OF 17" DEEP FROM  | <ul> <li>6 U.O.N., ALL GLASS USED IN PROJECT SHALL BE TEMPERED AND ALL EXPOSED EDGES POLISHED.</li> <li>7 PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS.</li> </ul>  | <ul> <li>17 REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES THROUGHOUT, U.O.N.</li> <li>18 G.C. TO COORDINATE WITH FIRE ALARM VENDOR TO VERIFY SCOPE OF DEMOLITION WORK IF REQUIRED.</li> </ul>  |
| <ul> <li>THE FRONT OF THE LAVATORY.</li> <li>FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT<br/>REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE</li> </ul>  | <ul> <li>8 ALL PENETRATIONS THROUGH RATED ASSEMBLIES MUST BE FIRE SEALED PER UL METHODS.</li> <li>9 ALL INTERIOR PARTITIONS SHALL BE TAPED SMOOTH AND SANDED TO RECEIVE FINISHES AS SCHEDULED, SEE</li> </ul>   | 19 DEMO (E) AV/IT CABLES, MAINTAIN LENGTHS, RETURN TO OWNER FOR REUSE AND CONSTRUCTION.  |
| CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF CLOSING ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.   | FINISH PLANS.<br>10 LOCATE THE HINGE SIDE OF DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED 4" FROM ADJACENT   | <ul> <li>20 MAINTAIN INTEGRITY OF FIRE SPRINKLER SYSTEM, INCLUDING FIRE PANEL FOR MONITORING OF RISER<br/>AND PIV.</li> <li>21 FIRE SAFETY DURING DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH NFPA 241.</li> </ul>   |
| <ul> <li>24 INSULATE OR OTHERWISE COVER HOT/COLD WATER AND DRAIN PIPES UNDER LAVATORIES.</li> <li>25 THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.</li> </ul>  | PERPENDICULAR PARTITIONS.<br>11 CONTRACTOR SHALL PREPARE AND IMPLEMENT CONSTRUCTION WASTE MANAGEMENT PLAN IN COMPLIANCE<br>WITH LOCAL JURISDICTION REQUIREMENTS AND PROJECT LEED CERTIFICATION GOALS  |  |
|   | <ul> <li>WITH LOCAL JURISDICTION REQUIREMENTS AND PROJECT LEED CERTIFICATION GOALS.</li> <li>12 CONTRACTOR SHALL REFINISH ANY BLEMISHED DOOR, OR REPLACE SAID DOOR IF NOT ABLE TO REFINISH.<br/>REMOVE ALL NAILS, PINS, ETC. AND PATCH AND REPAIR ALL EXISTING HOLES IN GYPSUM BOARD PARTITIONS<br/>AS REQUIRED. PREP TO RECEIVE NEW SPECIFIED FINISHES.</li> </ul>   |  |
|   | <ul> <li>AS REQUIRED. PREP TO RECEIVE NEW SPECIFIED FINISHES.</li> <li>ALL FIRE BARRIERS SHALL BE PERMANENTLY IDENTIFIED W/ SIGNS OR STENCILING THAT INCLUDE:</li> </ul>  |  |
|   | <ul> <li>13A LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES.</li> <li>13B BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET</li> </ul>   |  |
|   | MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.<br>13C INCLUDING LETTERING NOT LESS THAN 3" IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR  |  |
|   | INCORPORATING THE SUGGESTED WORDING: "FIRE AND/OR SMOKE BARRIER – PROTECT ALL OPENINGS" PER 2018 IBC 703.7  |  |

## AL NOTES

## TION NOTES

## **RIOT GAMES** 3003 77th Avenue SoutheastMercer Island

WA 98040



1200 Sixth Avenue Suite 500 Seattle, WA 98101 United States

Tel 206.654.2100 Fax 206.654.2121

Seal / Signature

**∆** Date Description

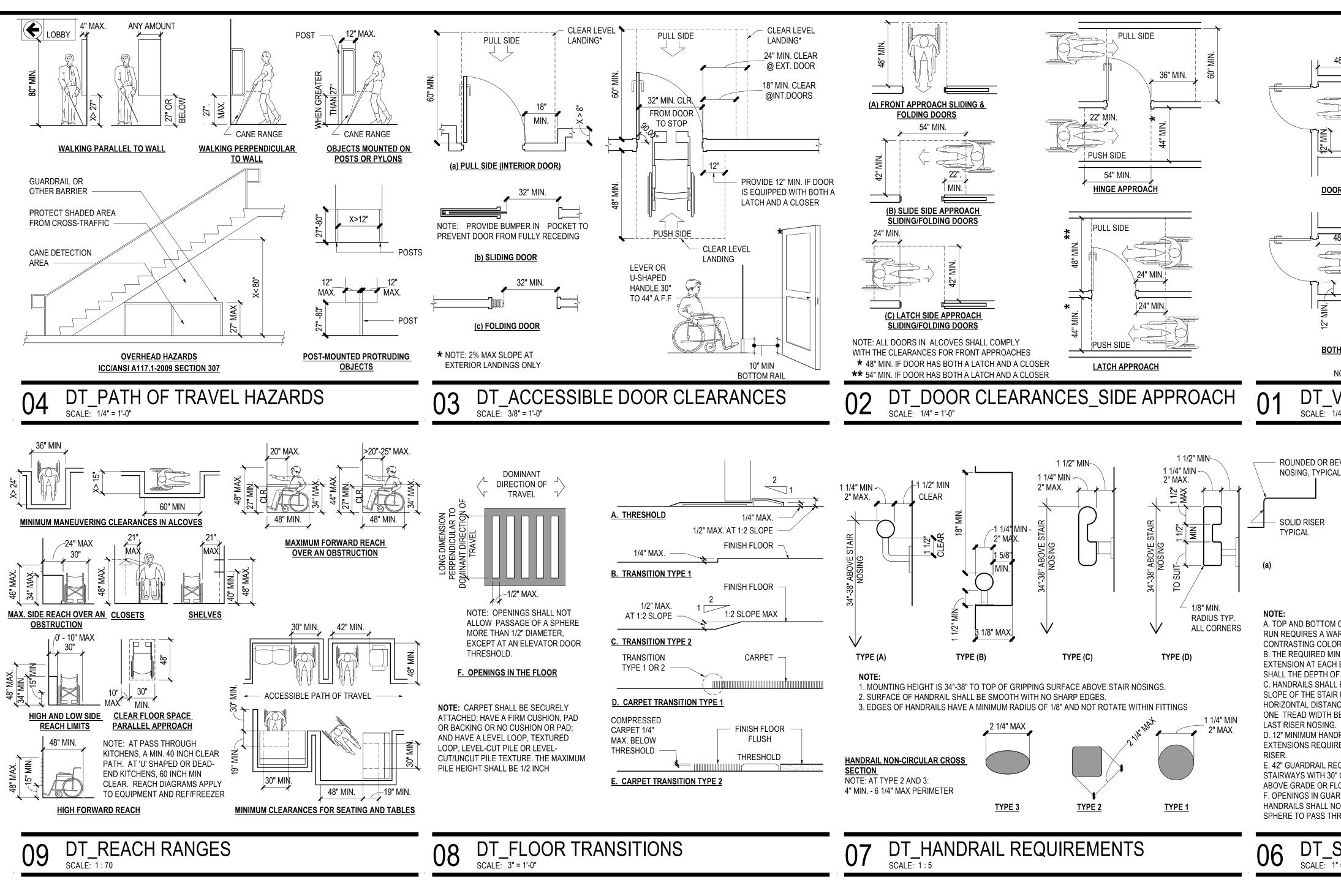
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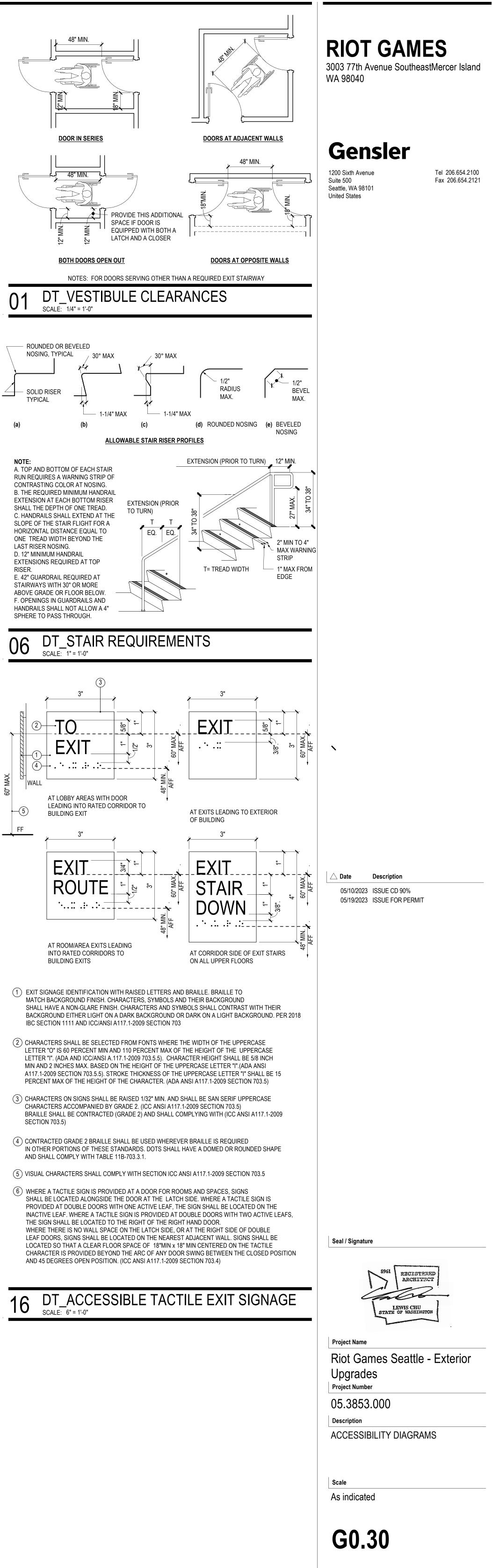
Project Name Riot Games Seattle - Exterior Upgrades Project Number 05.3853.000 Description GENERAL NOTES

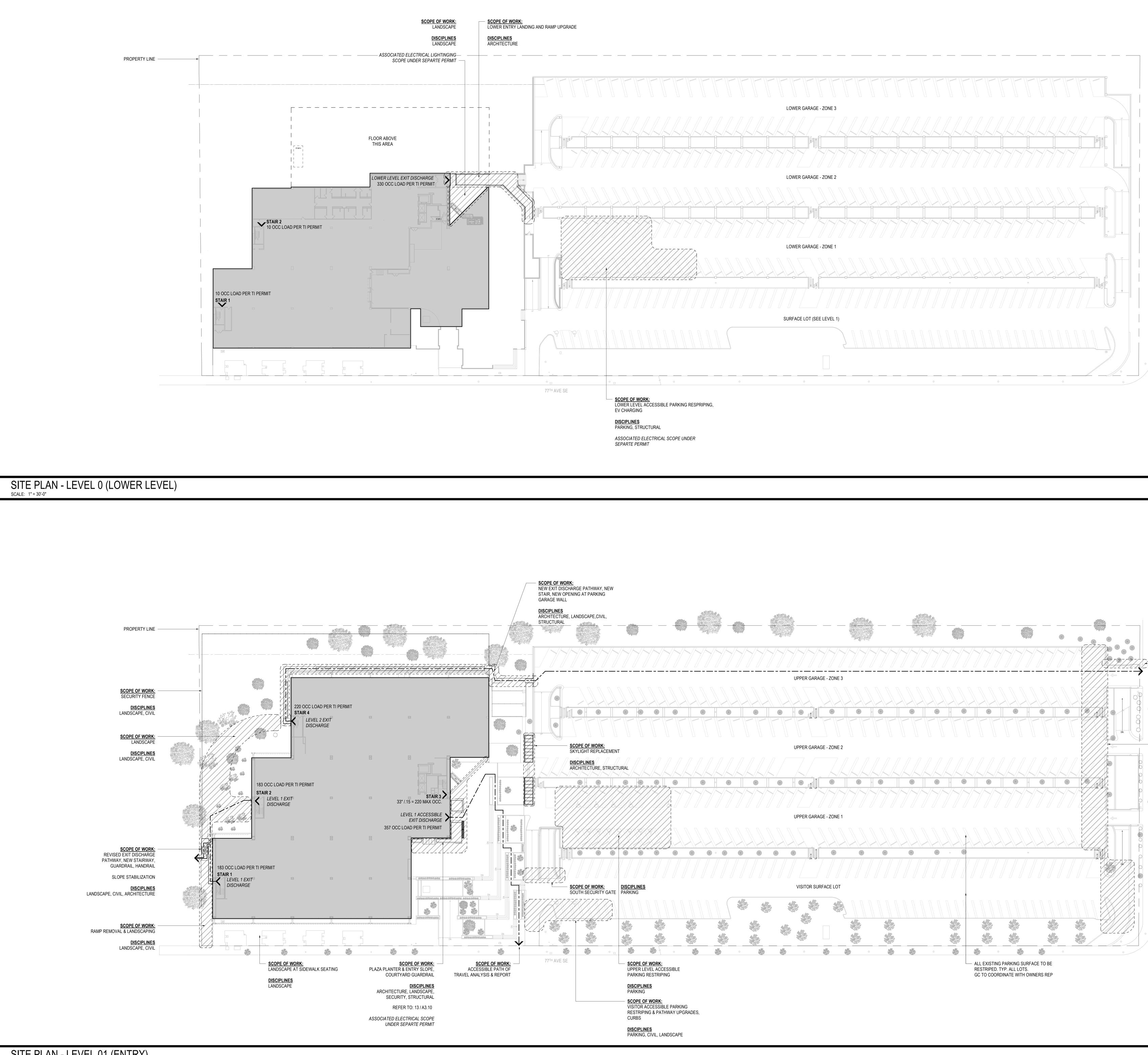
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SITE PLAN - LEVEL 01 (ENTRY) SCALE: 1" = 30'-0"

|   | SHEET NOTES   |  |
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|   |               | Gensler  |
|   |               | 1200 Sixth Avenue         Tel 206.654.2100           Suite 500         Fax 206.654.2121           Seattle, WA 98101         Fax 206.654.2121 |
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|   |               | Project Name<br>Riot Games Seattle - Exterior  |
|   |               | Upgrades<br>Project Number   |
|   |               | 05.3853.000  |
|   |               | Description CAMPUS SITE & SCOPE  |
|   |               | COORDINATION PLAN - FOR<br>REFERENCE ONLY  |
|   |               |  |
|   |               | 1" = 30'-0"  |
|   |               |  |
|   |               | G0.80  |

## **EXISTING LEGEND AND ABBREVIATIONS (PER PROJECT SURVEY):**

| BRH:                         |   |
|------------------------------|---|
| ⊕                            | AREA DRAIN  |
| ABAN∕RET                     | ABANDONED/RETIRED                                       |
|                              | ASPHALT (ASPH)  |
|                              | BOLLARD<br>BRICK SURFACE                                |
|                              | BUILDING LINE   |
| BC                           | BUILDING CORNER   |
| BR                           | BIKE RACK   |
|                              | CATCH BASIN (CB)  |
|                              | CONCRETE SURFACE  |
| CW/BW                        | CONCRETE/BRICK WALK                                     |
| CRW/WRW                      | CONCRETE/WOOD RETAINING WALL                            |
| CC/XC                        | CONCRETE/EXTRUDED CURB                                  |
| CP/IP                        | CONCRETE/IRON PIPE<br>Chain Link Fence (CLF)            |
| CTV                          | CABLE TV  |
| COL                          | COLUMN  |
| €/M                          | CENTERLINE/MONUMENT LINE                                |
| cs/ws                        | CONCRETE/WOOD STAIRS                                    |
| É.                           | H/C PARKING SPACE                                       |
| CON                          | CONIFEROUS TREE   |
| DEC                          | DECIDUOUS TREE  |
| CMP                          | CORRUGATED METAL PIPE                                   |
| C.O.C.                       | CENTER OF CHANNEL                                       |
| DWY                          | DRIVEWAY  |
| ECD                          | Electrical conduit                                      |
| ED                           | ELECTRICAL DUCT   |
| EHH                          | ELECTRICAL HANDHOLE                                     |
| EMH                          | ELECTRICAL MANHOLE                                      |
| EM                           | ELECTRICAL METER  |
| EV/ET                        | ELECTRICAL VAULT/TRANSFORMER                            |
|                              | FOUND SURVEY MONUMENT (AS NOTED)                        |
| Č                            | FIRE HYDRANT  |
| (                            | FIRE DEPT. CONNECTION (FDC)                             |
| FO                           | FIBER OPTICS  |
| FOMH                         | FIBER OPTIC MANHOLE                                     |
| FFE                          | FINISH FLOOR ELEVATION                                  |
| GB                           | GRADE BREAK   |
| G                            | GAS MAIN  |
| GM                           | GAS METER   |
| D                            | GAS VALVE   |
| GV<br>△ SP                   |   |
| M IV                         | IRRIGATION CONTROL BOX                                  |
| V ICB                        | IRRIGATION VALVE  |
| IE                           | IRON FENCE (WIF)<br>INVERT ELEVATION                    |
| ې                            | light pole (decorative)                                 |
| LSCAPE/PA                    | Landscape/planter                                       |
| $\bigcirc \bigcirc \bigcirc$ | MANHOLE   |
| US -                         | MAILBOX (FEDERAL/PRIVATE)                               |
| () MW                        | MONITOR WELL  |
| P.S.                         | PARKING SPACE(S)  |
| R                            | PROPERTY LINE (PL)                                      |
| (P)                          | PAINTED UTILITY LOCATION                                |
| ⇒                            | PIPE FLOW DIRECTION                                     |
| PE                           | POLYETHYLENE  |
| PPS                          | PARKING PAY STATION                                     |
| PS/PSS                       | COMBINED/SANITARY SEWER                                 |
| PSD                          | STORM DRAIN   |
| [+]                          | PRIVATE CATCH BASIN                                     |
| (R)                          | RECORD DATA   |
| RE                           | ROCKERY<br>ROOF ELEVATION                               |
| SD                           | SERVICE DRAIN (STORM)                                   |
| CO                           | CLEANOUT  |
| SSS                          | SANITARY SIDE SEWER (RECORD)                            |
| <u>т</u>                     | SIGN/STREET NAME SIGN                                   |
| тс/sl                        | TRAFFIC CONTROL/STREET LIGHT HANDHOLE                   |
| TCHD                         | TRENCH DRAIN  |
| TCD                          | TEMPORARY BENCHMARK (TBM)<br>TELEPHONE CONDUIT (BURIED) |
| TD                           | TELEPHONE DUCT  |
| TV                           | TELEPHONE VAULT   |
| TMH                          | TELEPHONE MANHOLE                                       |
| TS                           | TELEPHONE SENTRY<br>TRAFFIC FLOW DIRECTION              |
| TOE                          | TOE OF SLOPE  |
| TOP                          | TOP OF BANK   |
| O UP                         | UTILITY POLE (WOOD)                                     |
| WV                           | WATER VAULT   |
| W                            | WATER MAIN  |
| WM                           | WATER METER   |
| $\overset{\otimes}{\square}$ | WATER VALVE<br>WATER GATE VALVE/CHAMBER                 |
| vo/co                        | VACATION/CONDEMNATION ORDINANCE                         |
| $\bigtriangledown$           | WOOD FENCE (WF)<br>Yard light                           |
|                              |   |

- CONTOUR MONUMENT FOUND AS NOTED. VISITED SEPT. 1, 2005. = FOUND TACK IN LEAD. = SITE BENCHMARK VC = FLOW LINE OF VERTICAL CURB ♦ = SIGN 🖾 = SIGNAL BOX(SB)
- = FLAGPOLE & = HANDICAP PARKING/RAMP(H/C)
- -X- = HAND RAIL
- ▶ = GATE POST  $\Theta$  = POWER POLE (PP)
- = GUY WIRE ANCHOR(GWA)
- X = YARD LIGHT(YL) / LIGHT STANDARD(LS)PV = POWER VAULT TP = TRANSFORMER PAG
- = ELECTRICAL BOX = POWER CABINET
- = GAS METER(GM)
- $\triangle$  = IRRIGATION CONTROL BOX(ICB) = WATER METER(WM)
- WV = WATER VAULT
- = FIRE STAND PIPE(FSP) °O° = HYDRANT
- = FIRE CONNECTION (FC)
- □ = IRRIGATION CONTROL VAULT (ICV) Image: CATCH BASIN (CB)
- ⊖ = YARD DRAIN(YD)
- = STORM DRAINAGE MANHOLE (SDMH) ■ = SANITARY SEWER MANHOLE (SSMH)

| BENCHMARKS AND DATUM | (PER PROJECT SURVEY) |
|----------------------|----------------------|
|                      |                      |

## BRH:

DESCRIPTION:

PARCEL 1: LOTS 7 THROUGH 12, BLOCK 11, MCGILVRA'S ISLAND ADDITION, ACCORDING TO THE PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 58, IN KING COUNTY, WASHINGTON. EXCEPT THE EAST 10 FEET CONVEYED FOR ROAD

BY DEED RECORDED DECEMBER 1, 1958 UNDER RECORDING NO. 4970979 AND JUNE 15, 1966 UNDER RECORDING NO. 6041874, IN KING COUNTY, WASHINGTON.

PARCEL 2: AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES AS SET FORTH IN DOCUMENT RECORDED JULY 26, 1979 AS RECORDING NO. 7907260876 OF OFFICIAL RECORDS.

### HORIZONTAL DATUM: NAD 83/2011 (EPOCH 2010.00)

| OWNER:       | CITY OF MERCER ISLAND   |
|--------------|---|
| ID#          | MI 1015   |
| DESCRIPTION: | FOUND 1 <sup>1</sup> / <sub>2</sub> " PUNCHED BRASS DISC<br>WITH PUNCH IN 4"X4"CONC<br>"LS23613", DOWN 0.35 |
| LOCATION:    | 77TH AVE SE & SE 32ND ST  |
| NORTHING:    | 215382.42   |
| EASTING:     | 1294489.12  |
| OWNER:       | CITY OF MERCER ISLAND   |
| ID#          | 8659?   |
| DESCRIPTION: | FOUND RAISED ROCK NEAR CENTER<br>OF CONC IN CASE, DOWN 1.20   |
| LOCATION:    | 77TH AVE SE & SE 32ND ST  |
| NORTHING:    | 216302.78   |
| EASTING:     | 1294509.62  |

### VERTICAL DATUM: NAVD 88

| VERTICAL BENG | CHMARKS:  |
|---------------|---|
| SOURCE:       | CITY OF MERCER ISLAND   |
| ID#           | MI 1015   |
| DESCRIPTION:  | FOUND 1 <sup>1</sup> / <sub>2</sub> " PUNCHED BRASS DISC<br>WITH PUNCH IN 4"X4"CONC<br>"LS23613", DOWN 0.35 |
| LOCATION:     | 77TH AVE SE & SE 32ND ST  |
| ELEVATION:    | 85.16   |
| SOURCE:       | BRH   |
| ID#           | TBM 'B'   |
| DESCRIPTION:  | CHISELED SQUARE AT CURB FACE<br>WESTERLY CORNER OF H/C RAME   |
| LOCATION:     | NORTHWEST CORNER OF 77TH AV<br>SE & SE 29TH ST  |
| ELEVATION:    | 83.92   |

### AREA:

SITE AS SHOWN CONTAINS 255,928 SQUARE FEET OR 5.8753 ACRES, MORE OR LESS. SITE ADDRESS: 3003 77TH AVENUE SE MERCER ISLAND, WA 98040

CONTRACTOR IS ALERTED TO THE FACT THAT WORK WILL BE ACCOMPLISHED AROUND ACTIVE PSE GAS AND ELECTRICAL FACILITIES THAT ARE SERVING EXISTING CUSTOMERS. CONTRACTOR SHALL COORDINATE WITH PSE TO DETERMINE WHICH FACILITIES ARE ACTIVE AND ENERGIZED AND SHALL IMPLEMENT SAFETY PROCEDURES PER PSE REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH PSE TO ENSURE THAT FACILITIES ARE IN PLACE TO MAINTAIN SERVICE TO CUSTOMERS THROUGHOUT CONSTRUCTION.

### CONTOUR: LEGAL DESCRIPTION: PARCEL A: LOTS 7 THROUGH 12, BLOCK 11, MCGILVRAS ISLAND

ADDITION; ACCORDING TO THE PLOT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 58, IN KING COUNTY, WASHINGTON, EXCEPT THE EAST 10 FEET CONVEYED FOR ROAD BY DEED RECORDED DECEMBER 1, 1958 UNDER RECORDING NO. 4970979 AND JUNE 15, 1966, UNDER RECODING NO. 6041874. IN KING COUNTY, WASHINGTON. PARCEL B: AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES

AS SET FORTH IN DOCUMENT RECORDED JULY 26, 1979, AS RECORDIG NO. 7907260876 OF OFFICIAL RECORDS, AND BENEFITING LOTS 7 THROUGH 10, BLOCK 11, MCGILVRA'S ISLAND ADDITION, ACCORDING TO PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 58, IN KING COUNTY, WASHINGTON. BASIS OF BEARING: HELD CENTERLINE BEARING OF NORTH 88 31'14" WEST OF

### FOUND MONUMENTS ON SOUTHEAST 29TH STREET, BETWEEN ITS INTERSECTIONS WITH 77TH AVENUE SOUTHEAST AND 76TH AVENUE SOUTHEAST. VERTICAL DATUM:

HELD WSDOT BM #6477 FOUND WSDOT DISC ON NORTH END OF 72ND AVE SE BRIDGE ON THE SURFACE OF CONCRETE WALK ALSO +/- 50 FEET FROM NE CORNER OF BRIDGE. ELEVATION: 155.669' (NAVD 88) SITE #1: SET HUB AND MAG NAIL SOUTHWEST OF SITE. SHOWN HEREON.

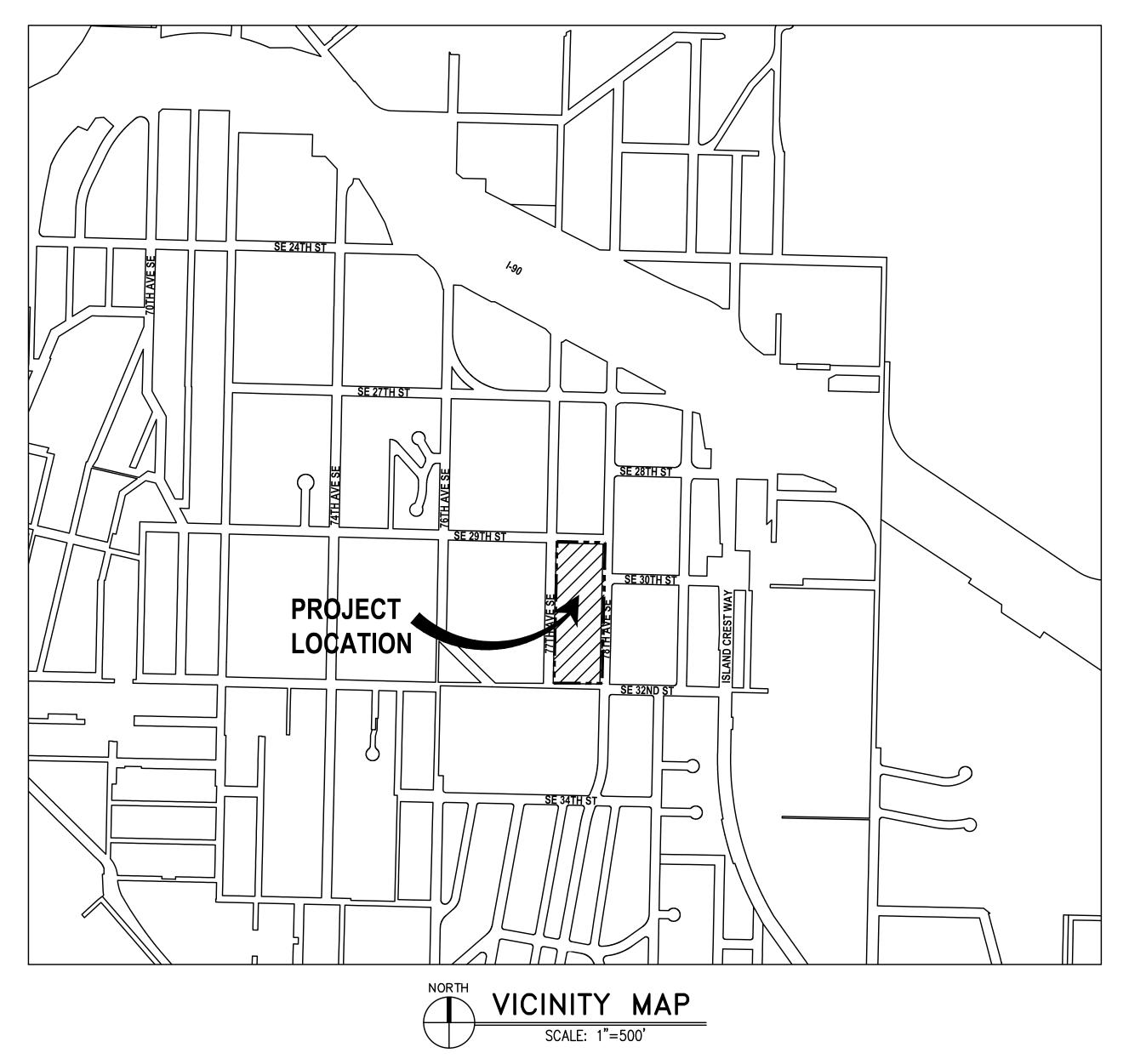
ELEVATION: 110.98' (NAVD 88) SITE #2: SET MAG AND WASHER EAST OF SITE. SHOWN HEREON. ELEVATION: 84.52' (NAVD 88)

AREA: 255,900 SQ. FT 5.875 ACRES

SITE ADDRESS: 3003 77TH AVENUE SOUTHEAST

COMMENTS MAY BE ISSUES THAT COULD AFFECT CIVIL DESIGN SCOPE.

# **RIOT GAMES EXTERIOR UPGRADES 3003 77TH AVE SE MERCER ISLAND, WA 98040**



| r           |                        |  |  |  |  |
|-------------|------------------------|--|--|--|--|
| SHEET INDEX |                        |  |  |  |  |
| SHEET NO.   | SHEET TITLE            |  |  |  |  |
| C0.00       | COVER SHEET            |  |  |  |  |
| C1.00       | DEMOLITION & TESC PLAN |  |  |  |  |
| C1.10       | TESC DETAILS           |  |  |  |  |
| C2.00       | CIVIL SITE PLAN        |  |  |  |  |
| C2.10       | GRADING ENLARGEMENTS   |  |  |  |  |
| C2.11       | GRADING ENLARGEMENTS   |  |  |  |  |
| C2.12       | GRADING ENLARGEMENTS   |  |  |  |  |
| C2.13       | GRADING ENLARGEMENTS   |  |  |  |  |
| C2.20       | CIVIL DETAILS          |  |  |  |  |
|             |                        |  |  |  |  |

## GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE 2023 WSDOT STANDARD PLANS & SPECIFICATIONS, UNLESS NOTED OTHERWISE, A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION. 2. BASE MAP USED IN CIVIL DRAWINGS IS A COMPILATION OF SURVEYS BY BUSH, ROED & HITCHINGS, INC (BRH, DATED 4/16/2021) AND CONTOUR ENGINEERING LLC (CONTOUR, DATED 10/29/2021, REVISED 4/5/2023). APPROXIMATE BOUNDARY BETWEEN SURVEYS IS NOTED ON CIVIL PLANS. IF ANY DISCREPANCIES ARE FOUND IN THE FIELD FROM WHAT IS SHOWN IN THE SURVEY THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF DISCREPANCY PRIOR TO CONSTRUCTION TO MODIFY DESIGN ACCORDINGLY. 3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES, AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN INSPECTOR ACCEPTANCE BY THE CITY OF MERCER ISLAND. 4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL REGULATIONS AND WITH THE 2023 WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION. 5. THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE WORK. OMISSIONS FROM THE DRAWINGS OF DETAIL OF WORK WHICH ARE NECESSARY TO CARRY
  - OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE OMITTED WORK. 6. ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL
  - REQUIRE APPROVAL OF THE ENGINEER AND INSPECTOR. 7. OWNER AND CONTRACTOR SHALL TOGETHER COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS. DRIVEWAYS AND UTILITY
  - SERVICES SHALL REMAIN ACCESSIBLE AT ALL TIMES. 8. ALL AREAS DISTURBED BEYOND PROPOSED IMPROVEMENTS DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL "PRE-CONSTRUCTION" STATE OR
  - BETTER. 9. CONTRACTOR SHALL DETERMINE OWNER AND CITY OF MERCER ISLAND RECORD DRAWING REQUIREMENTS FOR BELOW GRADE UTILITIES. CONTRACTOR SHALL SCHEDULE UTILITY OBSERVATIONS BY ENGINEER PRIOR TO BACKFILLING IF ENGINEER APPROVAL OR DOCUMENTATION IS REQUIRED, KPFF WILL NOT CERTIFY/APPROVE RECORD DOCUMENTS OF WORK WE HAVE NOT OBSERVED.
  - 10. ALL CONSTRUCTION METHODS AND ACTIVITIES SHALL BE IN ACCORDANCE WITH THE PERMIT, FINAL PLANS, AND SPECIFICATIONS AS APPROVED BY THE CITY OF MERCER ISLAND. THE CITY OF MERCER ISLAND. AND ITS REPRESENTATIVES SHALL BE PROVIDED ACCESS TO THE WORK AND ANY ADDITIONAL INFORMATION AS REQUIRED TO ACCOMMODATE PERMIT COMPLIANCE.
  - 11. KEEP WORK ON PRIVATE PROPERTY UNLESS NOTED OTHERWISE. COORDINATE ALL WORK IN THE RIGHT OF WAY WITH CITY OF MERCER ISLAND.

CITY OF MERCER ISLAND PERMIT APPROVAL IS STILL PENDING AND ADDITIONAL

# **DISTURBED AREA CALCULATIONS:**

EXISTING IMPERVIOUS REMOVAL = - 1,051-SF NEW IMPERVIOUS SURFACE = + 1,040-SF NET IMPERVIOUS SURFACE = 11-SF OF REDUCED IMPERVIOUS SURFACING CODE THRESHOLD FOR NET IMPERVIOUS SURFACE INCREASE = +500-SF NEW AND REPLACED HARD SURFACE = 1,607-SF CODE THRESHOLD FOR NEW AND REPLACED HARD SURFACE = 2,000-SF

## PROJECT NOTES

- 1. PROVIDE SUBMITTALS OF PRODUCTS AND MATERIALS NEEDED TO COMPLETE THE WORK FOR CIVIL ENGINEER'S REVIEW AND APPROVAL. SUBMIT CONCRETE JOINTING PLAN FOR LANDSCAPE ARCHITECT AND CIVIL ENGINEER'S REVIEW AND APPROVAL.
- 2. STRUCTURAL FILL SHALL CONSIST OF SELECTED IMPORTED, CLEAN, FREE-DRAINING GRAVEL AND/OR SAND WITH THE AMOUNT OF FINE-GRAINED MATERIAL LIMITED TO 5 PERCENT BY WEIGHT WHEN MEASURED ON THE NO. 4 SIEVE FRACTION. 3. CONCRETE SIDEWALK SHALL BE PER WSDOT STANDARD SPEC 8-14 AND CURBS SHALL BE PER WSDOT STANDARD SPEC 8-04.
- 4. CONTRACTOR SHALL PREPARE AND CONFIRM PAVING AND UTILITY TRENCH SUBGRADE. AND FILL/BACKFILL PLACEMENT MEETS THE FOLLOWING CRITERIA
- A. ALL IMPERVIOUS PAVEMENT SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO 95% MDD (MAXIMUM DRY DENSITY). B. UNAUTHORIZED EXCAVATION AS WELL AS REMEDIAL WORK DIRECTED BY THE OWNER'S REPRESENTATIVE SHALL BE AT NO EXPENSE
- TO THE OWNER. BACKFILL UNAUTHORIZED EXCAVATION WITH STRUCTURAL FILL TO 95% MDD. C. IF REQUIRED BY THE GEOTECHNICAL ENGINEER, PROVIDE EQUIPMENT AND LABOR FOR PROOF ROLLING.
- D. WHERE SOFT SPOTS ARE IDENTIFIED OR OCCUR, REMOVE AND REPLACE WITH STRUCTURAL FILL AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- 4. FINAL GRADES SHALL COMPLY WITH DOCUMENTATION ON THE PLANS WITHIN A TOLERANCE OF 1/2-INCH, WHEN TESTED WITH A 10-FOOT STRAIGHTEDGE AND BE UNIFORMLY GRADED BETWEEN ELEVATIONS AND GRADE BREAKS SHOWN ON THE PLAN. 5. PROTECT WORK COMPLETED AND PROVIDE REPAIRS AS NECESSARY IF DAMAGE OCCURS.

# **RIOT GAMES**

3003 77th Avenue SoutheastMercer Island WA 98040

# Gensler 1200 Sixth Avenue

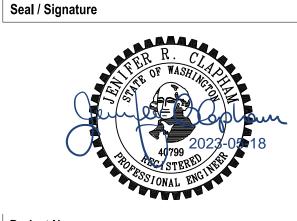
Suite 500 Seattle, WA 98101 United States

Tel 206.654.2100 Fax 206.654.2121



04/21/2023 ISSUE CD 50% 05/10/2023 ISSUE CD 90% 05/19/2023 ISSUE FOR PERMIT

△ Date Description

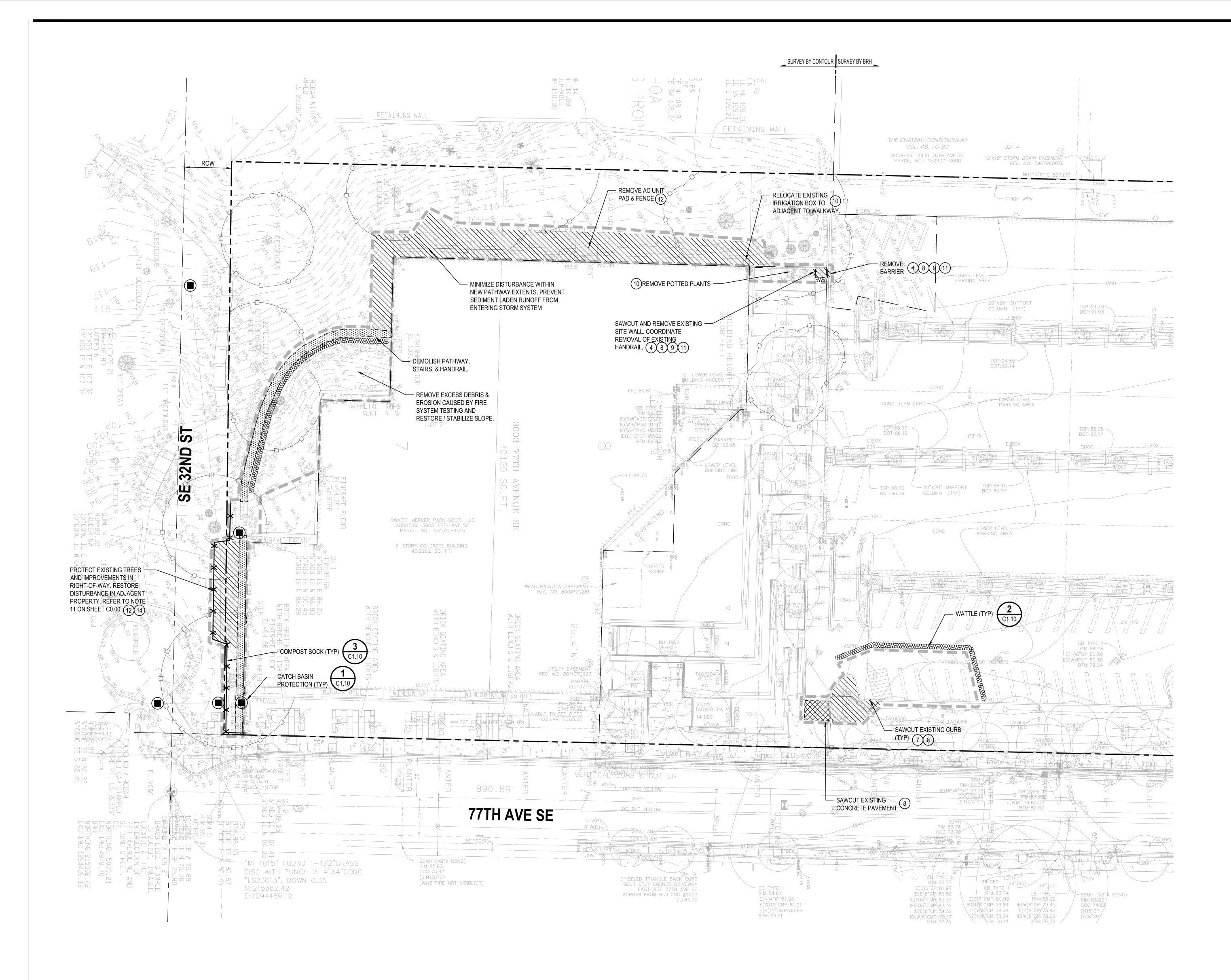


Project Name **Riot Games Seattle - Exterior** Upgrades Project Number 05.3853.000 Description COVER SHEET

Scale

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**CO.00** 



## NOTES:

- 1. PROVIDE SEDIMENT CONTROL MEASURES TO PREVENT SEDIMENT LADEN RUN OFF AND/OR CONCENTRATED FLOW FROM LEAVING THE LIMITS OF CONSTRUCTION OR DISCHARGING TO THE ADJACENT STREETS. CONTRACTOR SHALL INSTALL AND ADJUST TESC MEASURES, INCLUDING STOCKPILE COVERING AS NEEDED TO MANAGE RUN OFF FROM CHANGING CONDITIONS AND WEATHER AND TO MEET CITY OF MERCER ISLAND SURFACE WATER REQUIREMENTS.
- 2. PERFORM NECESSARY DEMOLITION, EXCAVATION, CLEARING, AND GRUBBING WITHIN LIMITS OF WORK TO COMPLETE CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL STRUCTURES/UTILITIES LOCATED WITHIN WORK LIMITS THAT ARE TO BE DEMOLISHED OR PROTECTED PRIOR TO CONSTRUCTION. IF EXISTING ITEMS ARE FOUND IN FIELD THAT ARE NOT REFLECTED IN THE SURVEY, CONTRACTOR SHALL COORDINATE PROTECTION, REMOVAL, OR RELOCATION WITH ENGINEER AND OWNER.
- PREVENT DISTURBANCE BEYOND THE LIMITS OF WORK. DEMOLITION BEYOND WORK LIMITS OR DAMAGE TO EXISTING FACILITIES/UTILITIES TO REMAIN SHALL BE REPAIRED IN KIND AT CONTRACTOR'S COST. 4. COORDINATE CONSTRUCTION ACCESS FOR THE WORK ALONG THE WEST AND SOUTH OF BUILDING
- WITH CITY, OWNER, AND ARCHITECT. 5. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS EXCEPT THOSE CALLED OUT TO BE DEMOLISHED.
- (6.) REFER TO PARKING PLANS FOR LOCATION OF PROPOSED CURB CUTS.
- (7.) MAKE A VERTICAL SAW CUT BETWEEN ANY EXISTING IMPROVEMENTS TO REMAIN AND THE PORTION TO BE REMOVED.
- 8. REPLACE AT NO EXPENSE TO THE OWNER ANY EXISTING IMPROVEMENTS TO REMAIN THAT ARE DAMAGED DURING THE REMOVAL OF OTHER IMPROVEMENTS.
- (9.) DEMOLITION OF EXISTING PANEL STRUCTURE AND SAWCUT OF EXISTING SITE WALL IS REQUIRED TO CONSTRUCT NEW PATHWAY CONNECTION. COORDINATE WITH OWNER, ARCHITECT, AND STRUCTURAL ENGINEER FOR PANEL REMOVAL EXTENTS. PROTECT EXISTING WALL, CURB, AND SLAB STRUCTURE.
- (10.) COORDINATE WITH LANDSCAPE ARCHITECT.

(11) COORDINATE WITH ARCHITECT.

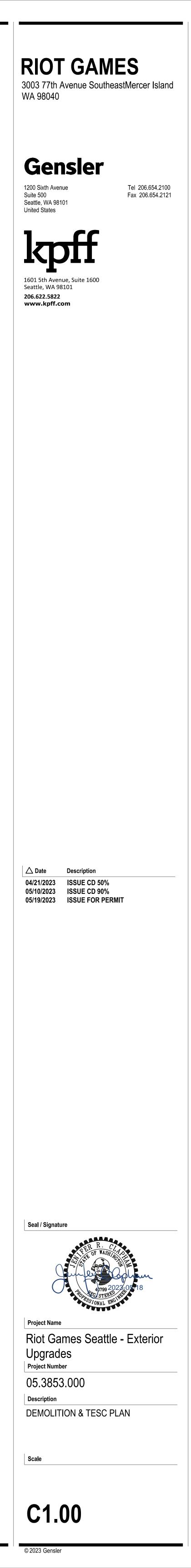
(12) COORDINATE WITH OWNER.

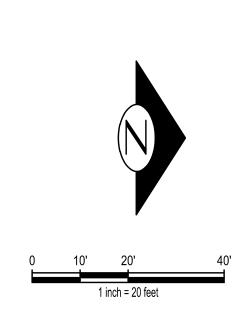
(13) COORDINATE WITH STRUCTURAL ENGINEER.

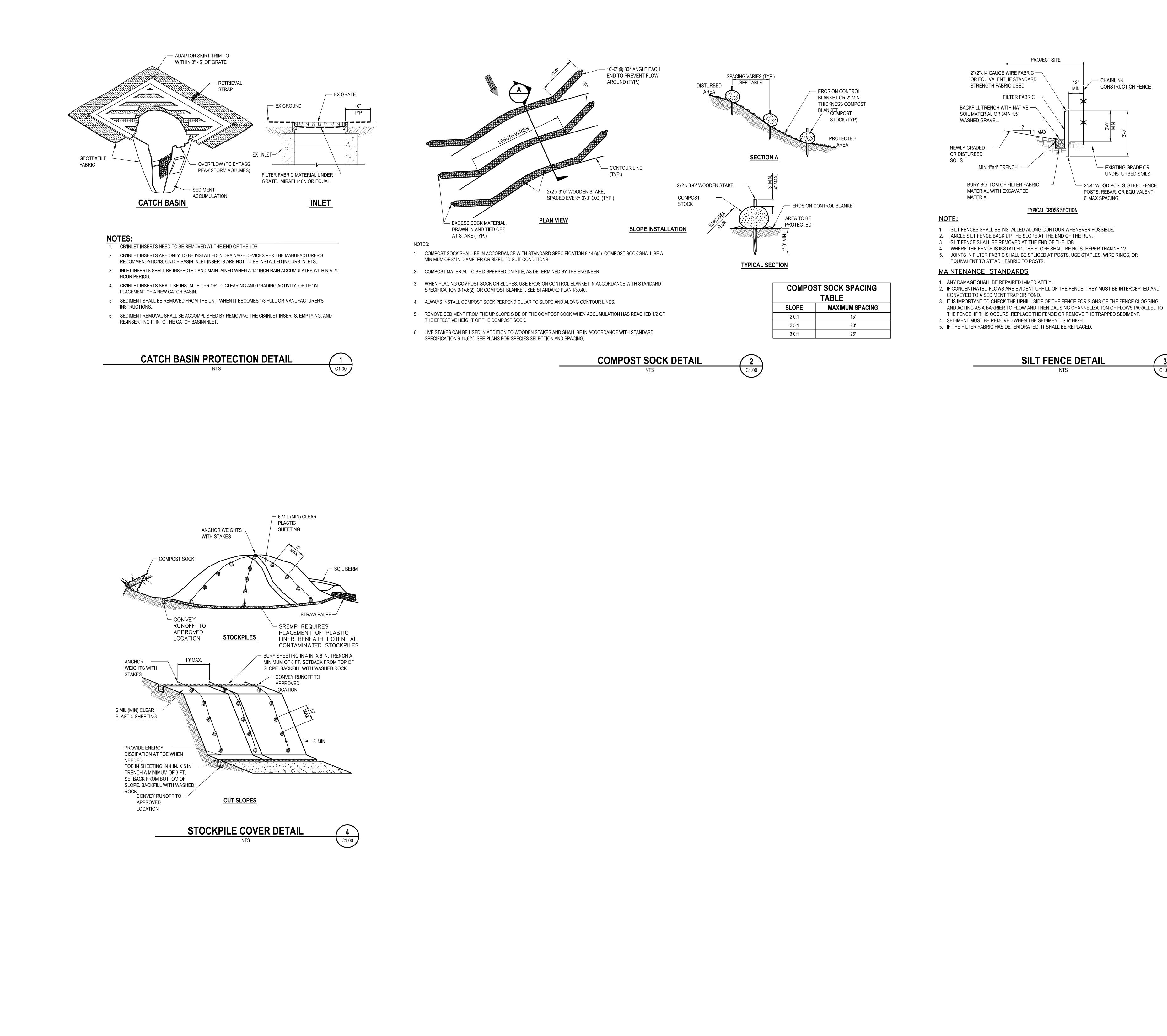
(14) COORDINATE WITH CITY OF MERCER ISLAND.

15. STAKE OUT PATHWAY EXTENTS. REMOVE TOPSOIL WITHIN 1 FOOT HORIZONTAL OFFSET OF PATHWAY SECTION. COMPACT NATIVE SUBGRADE. PLACE STRUCTURAL FILL TO PROPOSED PAVEMENT SECTION SUBGRADE. PRESERVE TOPSOIL WITHIN LANDSCAPE AREAS BEING MODIFIED.

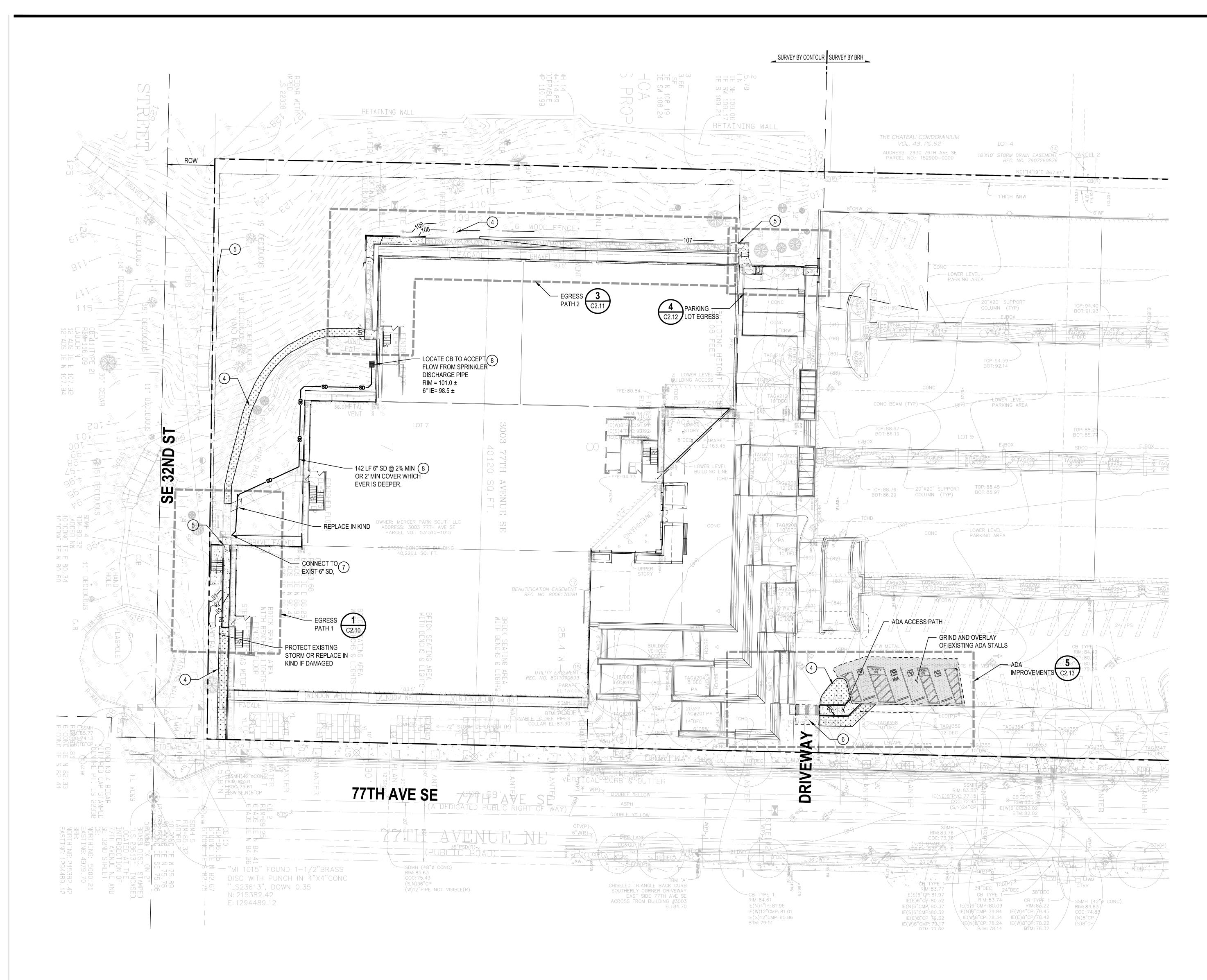
| <u>LEGE</u> | <u>ND</u>  |
|-------------|--|
|             | PROPERTY LINE  |
|             | RIGHT-OF-WAY CENTERLINE                              |
|             | LIMITS OF CONSTRUCTION                               |
| <u> </u>    | SILT FENCE   |
|             | SAWCUT   |
|             | CB/INLET PROTECTION                                  |
| -2000       | COMPOST SOCK   |
|             | PATH DEMOLITION                                      |
|             | PAVING REMOVAL                                       |
|             | CLEAR & GRUB, REFER TO NOTE 15                       |
|             | APPROXIMATE SURVEY BOUNDARY                          |
|             | TREE PROTECTION FENCING, REFER TO LANDSCAPE<br>PLANS |







**RIOT GAMES** 3003 77th Avenue SoutheastMercer Island WA 98040 CHAINLINK Gensler CONSTRUCTION FENCE 1200 Sixth Avenue Tel 206.654.2100 Fax 206.654.2121 Suite 500 Seattle, WA 98101 United States KU 1601 5th Avenue, Suite 1600 - EXISTING GRADE OR Seattle, WA 98101 UNDISTURBED SOILS 206.622.5822 www.kpff.com 2"x4" WOOD POSTS, STEEL FENCE POSTS, REBAR, OR EQUIVALENT. 3 C1.00 🛆 Date Description 04/21/2023 ISSUE CD 50% 05/10/2023 ISSUE CD 90% 05/19/2023 ISSUE FOR PERMIT Seal / Signature Project Nan **Riot Games Seattle - Exterior** Upgrades Project Number 05.3853.000 Description TESC DETAILS Scale C1.10



## NOTES:

- REFER TO PARKING PLANS FOR PARKING STALL AND ADA PATH LAYOUT. CONFIRM EXISTING GRADES PRIOR TO BEGINNING ADA PATH CONSTRUCTION AND COORDINATE WITH ENGINEER IF GRADES DIFFER FROM SURVEY.
- 2. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF EGRESS PATHWAYS.
- 3. INSTALL ISOLATION JOINTS BETWEEN BUILDINGS, WALLS, AND CONCRETE PAVEMENT PER WSDOT STANDARD PLAN F-30.10-04 EXPANSION JOINT DETAIL.
- (4.) REFER TO LANDSCAPE PLANS FOR PLANTING/RESTORATION AND FENCE LAYOUT AND DETAILS.
- (5.) REFER TO ARCHITECT PLANS FOR GATE DETAILS AND LAYOUT.
- (6.) CONCRETE DRIVE PAVEMENT THICKNESS SHALL BE 6" CONCRETE OVER 6" CSBC OR MATCH EXISTING, WHICHEVER IS GREATER PER WSDOT STANDARD SPEC. 8-06.
- (7.) LOCATE EXISTING INCOMING PIPE IN FIELD AND PROVIDE TEE FITTING TO CONNECT NEW PIPE TO EXISTING. IE PROVIDED IS APPROXIMATE AND MAY REQUIRE ADJUSTMENT IN THE FIELD. COORDINATE WITH ENGINEER IF ELEVATIONS DIFFER THAN THOSE PROVIDED.
- 8. CONTRACTOR SHALL PROVIDE SEPARATE LINE ITEM WHEN PRICING THIS SCOPE OF WORK.

| <u>LEGEND</u> |
|---------------|
|               |

|  | PROPERTY              |
|--|-----------------------|
|  | RIGHT-OF-             |
| XX   | PROPOSE               |
| (XX)   | EXISTING (            |
| XXXX   | SPOT ELE\             |
|  | 6" SD PIPE            |
|  | CATCH BAS             |
|  | 2" GRIND &            |
|  | CEMENT C<br>(PER W    |
|  | CEMENT C<br>(PER W    |
|  | PERMEABL              |
| $\begin{array}{c} \bullet & \bullet & \bullet & \bullet \\ \bullet & \bullet & \bullet & \bullet & \bullet & \bullet \\ \bullet & \bullet &$ | PLANTING              |
|  | APPROXIM<br>(REFER TC |
|  | GRADE BR              |
|  | FLUSH CUP             |
|  |                       |

Y LINE

F-WAY CENTERLINE

ED CONTOURS CONTOURS

EVATION

ASIN TYPE 1

& OVERLAY

CONCRETE DRIVEWAY ENTRANCE WSDOT STD PLAN F-80.10-04)

CONCRETE SIDEWALK

WSDOT STD PLAN F-30.10-04) BLE PAVEMENT WALKWAY

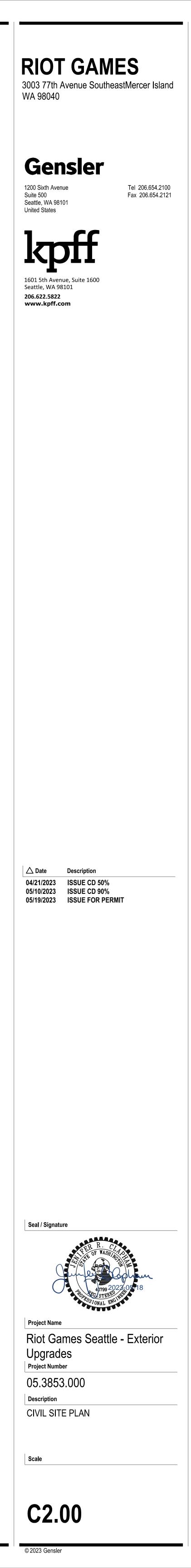
**GRESTORATION** 

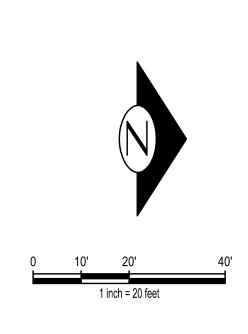
IMATE SURVEY BOUNDARY O NOTE 2, SHEET C-0.00)

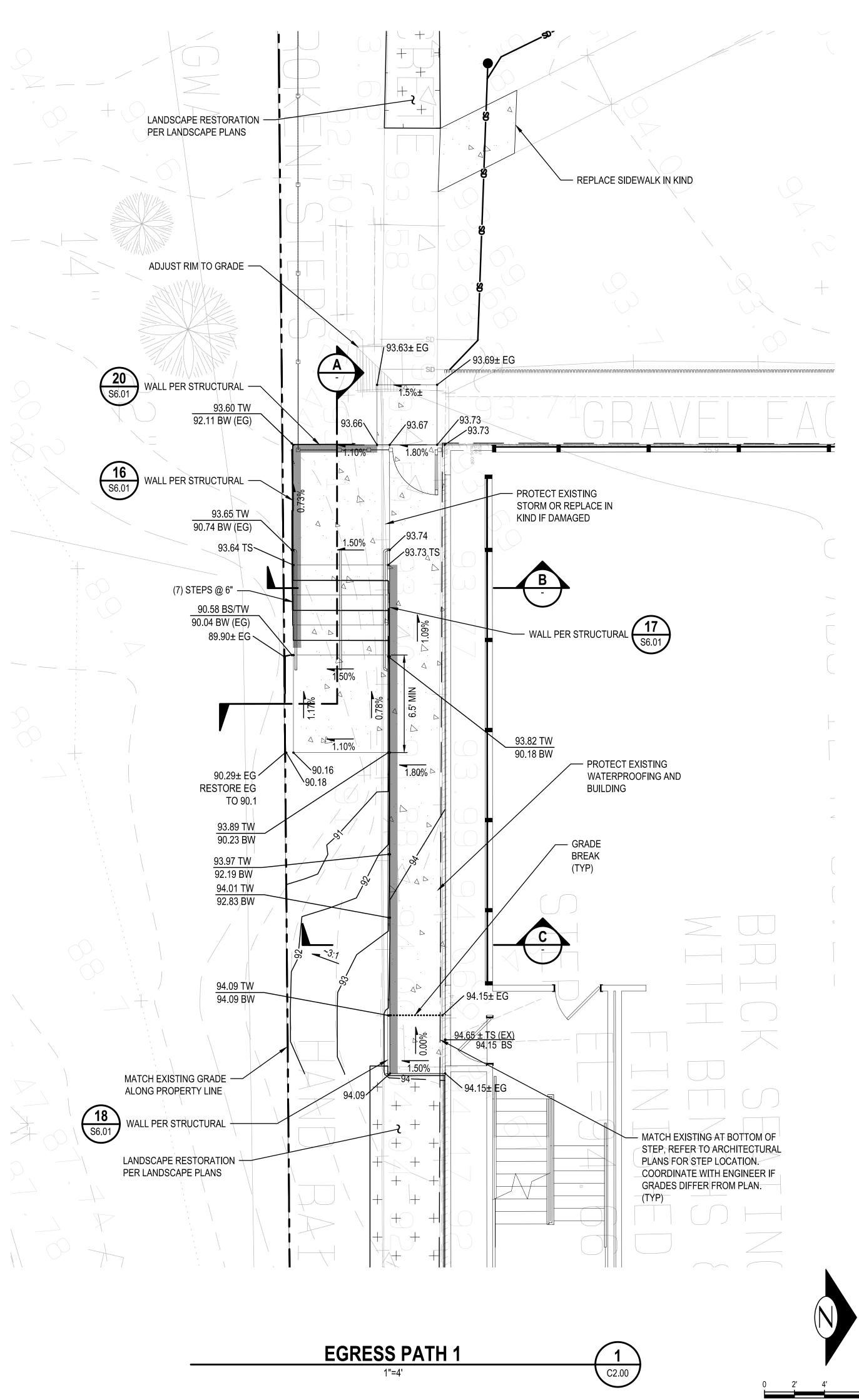
REAK

MONOLITHIC SIDEWALK THICKENED EDGE

WALL PER STRUCTURAL AND ARCHITECT PLANS

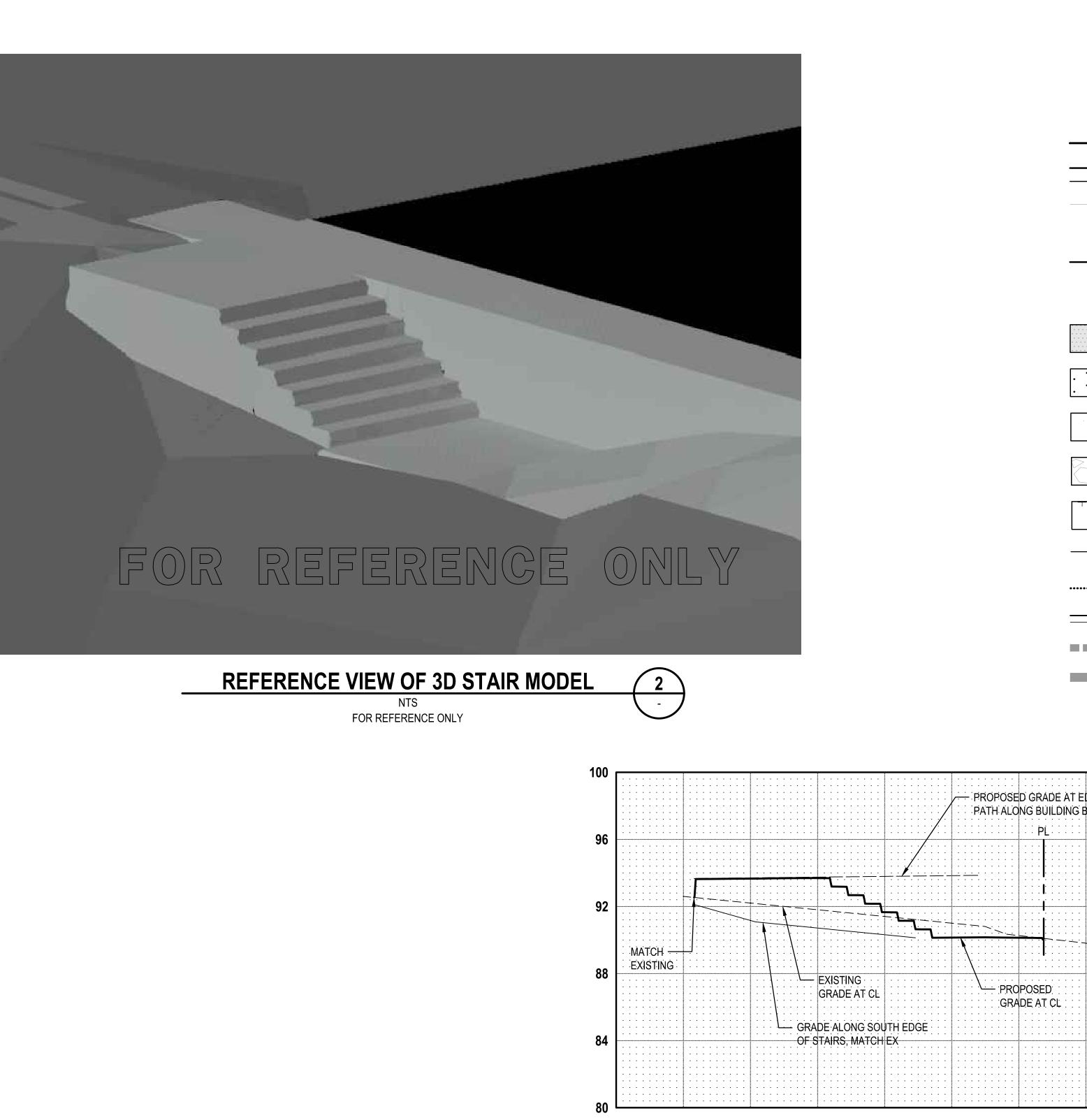


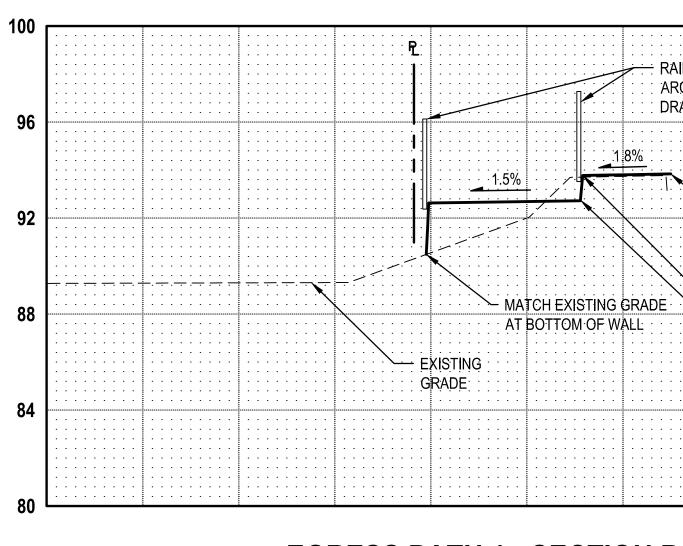


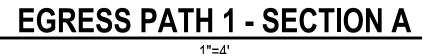


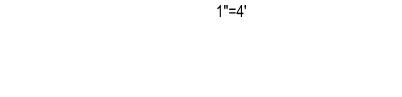
## NOTES:

1. REFER TO ARCHITECTURAL DRAWINGS FOR RETAINING WALL LAYOUT AND STRUCTURAL DRAWINGS FOR DETAILS.





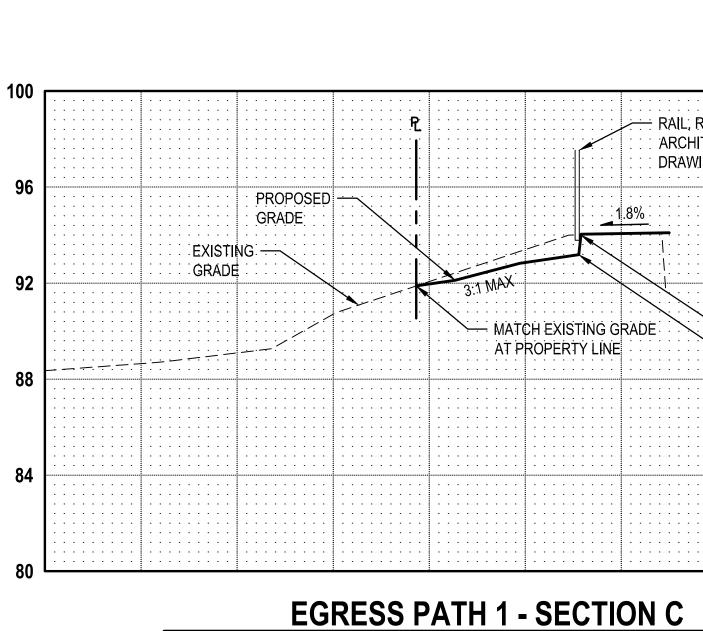






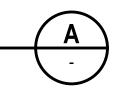
1"=4'

1"=4'



| <u>LEGE</u>   | ND   |  |  |  |  |
|---|--|--|--|--|--|
|   | PROPERTY LINE  |  |  |  |  |
| XX  | PROPOSED CONTOURS  |  |  |  |  |
| (XX)  | EXISTING CONTOURS  |  |  |  |  |
| <u>XX.XX</u>  | SPOT ELEVATION   |  |  |  |  |
| so  | 6" SD PIPE   |  |  |  |  |
|   | CATCH BASIN TYPE 1   |  |  |  |  |
|   | 2" GRIND & OVERLAY   |  |  |  |  |
|   | CEMENT CONCRETE DRIVEWAY ENTRANCE<br>(PER WSDOT STD PLAN F-80.10-04) |  |  |  |  |
| Δ   | CEMENT CONCRETE SIDEWALK<br>(PER WSDOT STD PLAN F-30.10-04)          |  |  |  |  |
|   | PERMEABLE PAVEMENT WALKWAY   |  |  |  |  |
| + + +   | PLANTING RESTORATION   |  |  |  |  |
|   | APPROXIMATE SURVEY BOUNDARY<br>(REFER TO NOTE 2, SHEET C-0.00)       |  |  |  |  |
| ••••••  | GRADE BREAK  |  |  |  |  |
|   | FLUSH CURB   |  |  |  |  |
|   | MONOLITHIC SIDEWALK THICKENED CURB                                   |  |  |  |  |
|   | WALL PER STRUCTURAL AND ARCHITECT PLANS                              |  |  |  |  |
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|   |  |  |  |  |  |
| · · · · · · · · · · · · ·   | <b>100</b>   |  |  |  |  |
| EDGE OF BEHIND  |  |  |  |  |  |
| · · · · · · · · · · · · · · · · · · ·   | 96   |  |  |  |  |
| ·     ·     ·     ·     ·     ·     ·     ·       ·     ·     ·     ·     ·     ·     ·     ·       ·     ·     ·     ·     ·     ·     ·     ·       ·     ·     ·     ·     ·     ·     ·     ·       ·     ·     ·     ·     ·     ·     ·     · |  |  |  |  |  |

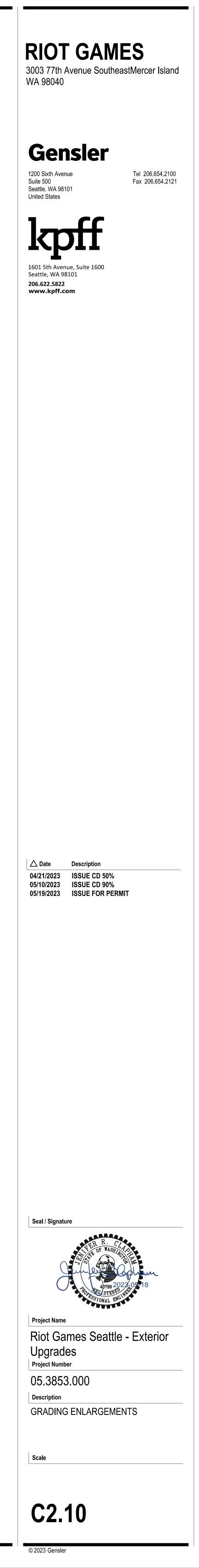
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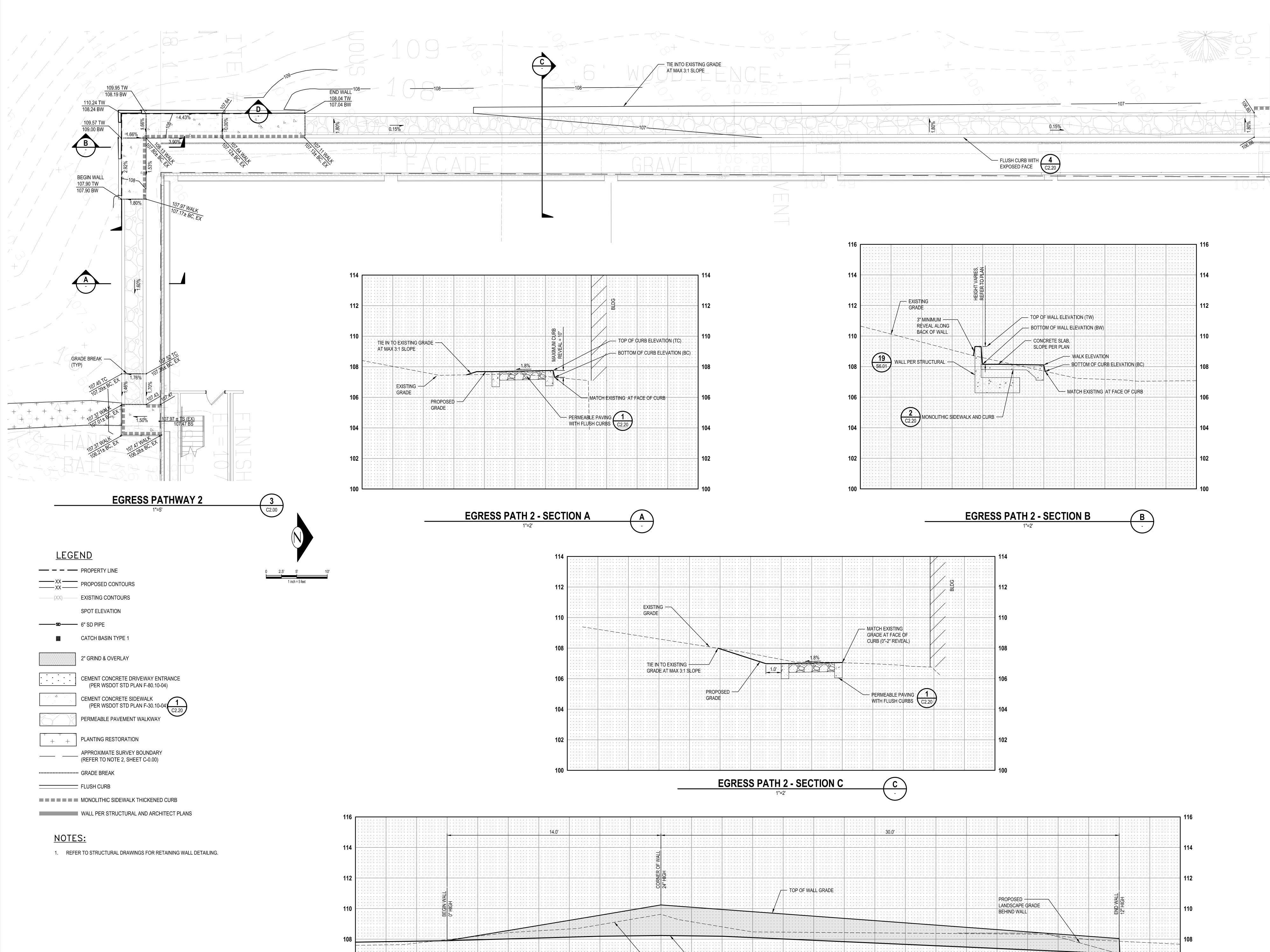


| , REFER TO            |              | · · · · · · · · · · · · · ·           | 10                                    |
|-----------------------|--------------|---------------------------------------|---------------------------------------|
| HITECTURAL            |              | · · · · · · · · · · · · · · · · · · · |                                       |
|                       |              |                                       | 96                                    |
|                       |              |                                       | 92                                    |
| REF                   | TRUCTURAL S  | TURAL                                 | · · · · · · · · · · · · · · · · · · · |
| ··· · · · · · · · DRA | WINGS FOR L  | 9EŀAIĽS · · ·                         |                                       |
|                       | WINGS FOR E  |                                       | 88                                    |
|                       | ALL ELEVATIO |                                       | 88                                    |
|                       | ALL ELEVATIO |                                       |                                       |
|                       | ALL ELEVATIO |                                       | 88                                    |



| REFER TO  | 100         |
|---|-------------|
| ITECTURAL<br>INGS   |             |
|   | 96          |
|   | 92          |
| - TOP OF WALL ELEVATION (TW):<br>BOTTOM OF WALL ELEVATION (BW)  | ·<br>·<br>· |
| Image: state stat | 88          |
| · · · · · · · · · · · · · · · · · · ·   | 84          |
|   | ·<br>·<br>· |
|   | <u>80</u> ل |
|   |             |





106

104

EXISTING GRADE BEHIND WALL

|           |                                       |                                       |                                       |                                       |                                       |   |                                       | /                         |                                       |
|-----------|---------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|---|---------------------------------------|---------------------------|---------------------------------------|
| <br>      | · · · · · · · · · · · · · · · · · · · | · · · · · · · · · · · ·               |                                       |                                       | · · · · · · · · · · · ·               | · · · · · · · · · · · · · · · · · · ·           |                                       |                           |                                       |
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| · · ·     | · · · · · · · · · · · ·               | · · · · · · · · · · · · · ·           | · · · · · · · · · · · · · · · · · · · |                                       |                                       | TCH EXISTING                                    |                                       |                           |                                       |
| · · ·     |                                       |                                       |                                       |                                       | GR                                    | TCH EXISTING<br>ADE AT FACE (<br>RB (0"-2" REVE | DF                                    |                           |                                       |
| $\sim$    |                                       |                                       |                                       |                                       |                                       | · · · · · · · · · · · · · · · · · · ·           |                                       |                           |                                       |
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| POS<br>DE | ED                                    |                                       |                                       |                                       |                                       | PERMEABLE PA<br>WITH FLUSH CU                   | VING 1<br>JRBS C2.20                  | )                         |                                       |
|           | · · · · · · · · · · · · · · · · · · · | · · · · · · · · · · · · ·             | · · · · · · · · · · · · · · · · · · · |                                       | · · · · · · · · · · · · · · · · · · · | · · · · · · · · · · · · · · · · · · ·           | · · · · · · · · · · · · · · · · · · · |                           | · · · · · · · · · · · · · · · · · · · |
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# PROPOSED PATH/BOTTOM OF WALL GRADE

## EGRESS PATH 2 - SECTION D: RETAINING WALL 1"=2'

|   |                                       | 114     |
|---|---------------------------------------|---------|
|   | · · · · · · · · · · · · · · · · · · · | 112     |
|   |                                       | 110     |
| TION<br>CURB ELEVATION (BC  | <u>)</u>                              | 108     |
| IG AT FACE OF CURI  | <u> </u>                              | 106     |
| · · · · · · · · · · · · · · · · · · ·   | · · · · · · · · · · · · · · · · · · · | 104     |
| ·       · |                                       | 102     |
| ·       · |                                       |         |
|   |                                       | <br>100 |

| 11 |            |      |   |   |      |   |                  |       |   |      |   |   |       |          |          |                |   |        |           |
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# **RIOT GAMES**

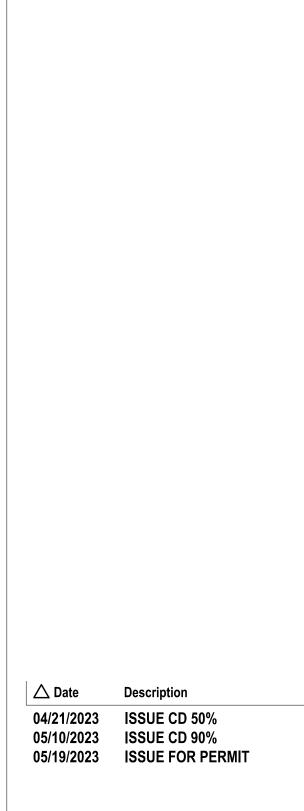
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# Gensler

1200 Sixth Avenue Suite 500 Seattle, WA 98101 United States

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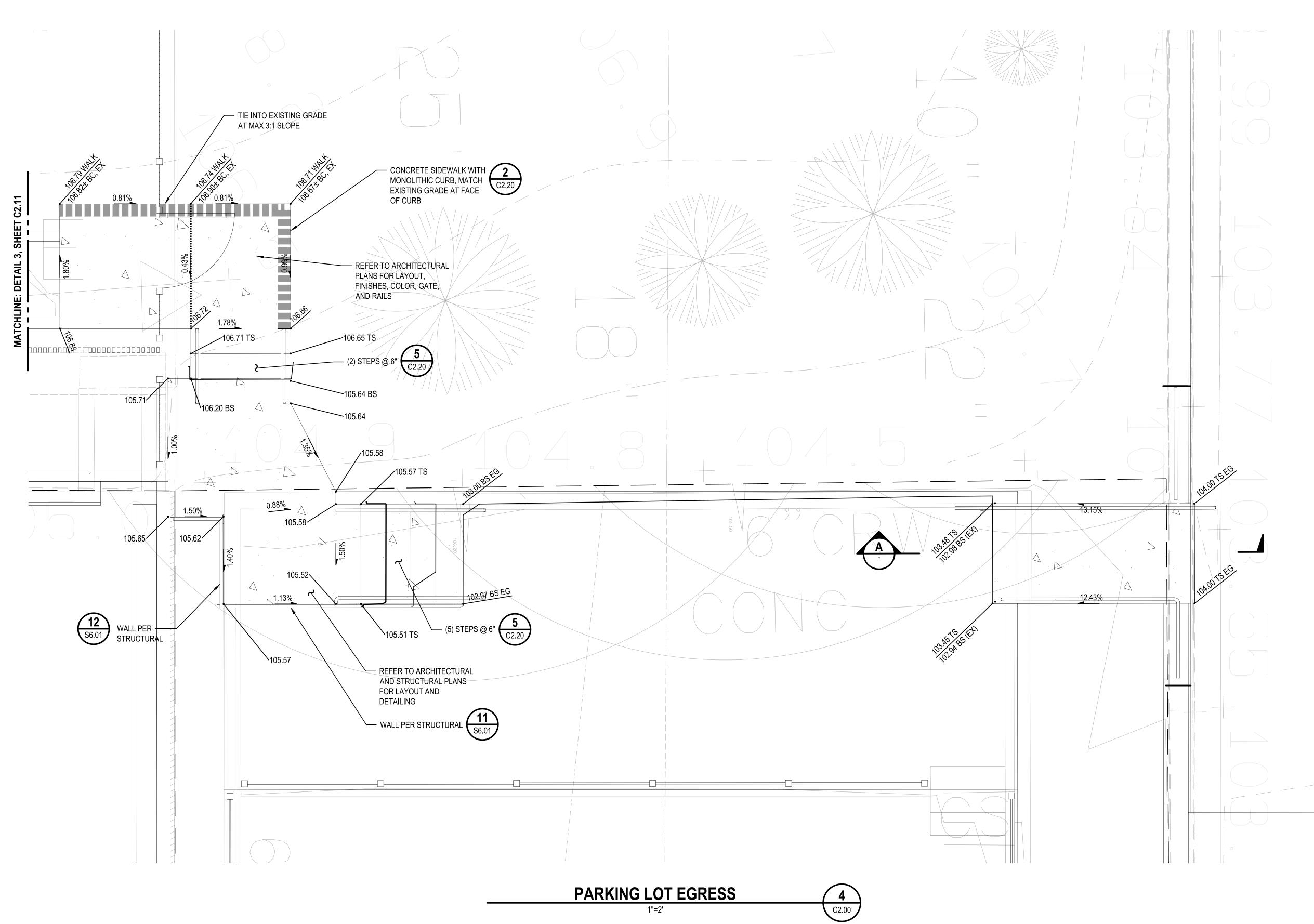


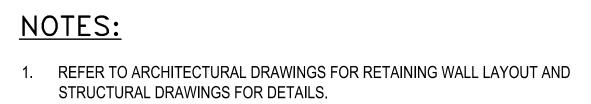
Riot Games Seattle - Exterior Upgrades Project Number 05.3853.000 Description GRADING ENLARGEMENTS

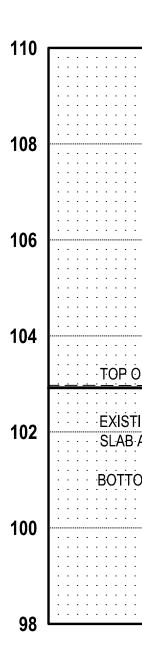
Scale

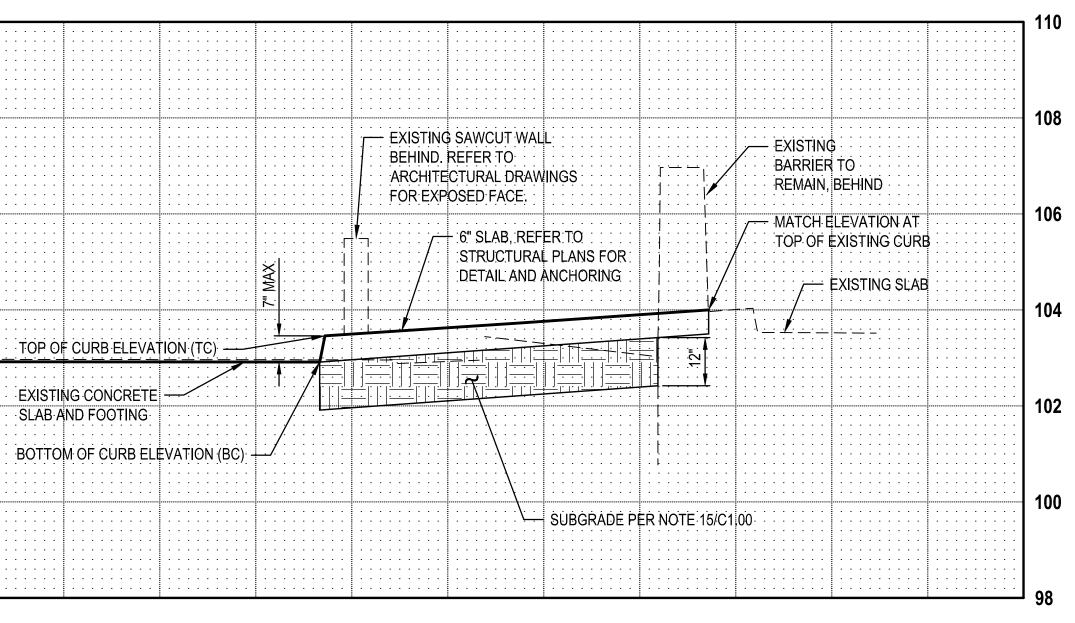
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**PARKING LOT EGRESS - SECTION A** 1"=2'

# <u>LEGEND</u> PROPERTY LINE ------(XX)------ EXISTING CONTOURS <u>XX.XX</u> Δ + + \_\_\_\_\_ ······ GRADE BREAK FLUSH CURB

XX PROPOSED CONTOURS

SPOT ELEVATION

CATCH BASIN TYPE 1

2" GRIND & OVERLAY

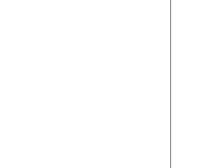
CEMENT CONCRETE DRIVEWAY ENTRANCE (PER WSDOT STD PLAN F-80.10-04)

CEMENT CONCRETE SIDEWALK (PER WSDOT STD PLAN F-30.10-04) PERMEABLE PAVEMENT WALKWAY

PLANTING RESTORATION

APPROXIMATE SURVEY BOUNDARY (REFER TO NOTE 2, SHEET C-0.00)

MONOLITHIC SIDEWALK THICKENED CURB WALL PER STRUCTURAL AND ARCHITECT PLANS



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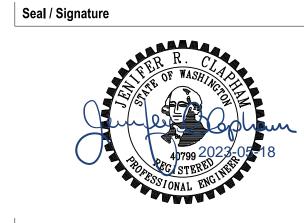
1200 Sixth Avenue Suite 500 Seattle, WA 98101 United States

Tel 206.654.2100 Fax 206.654.2121



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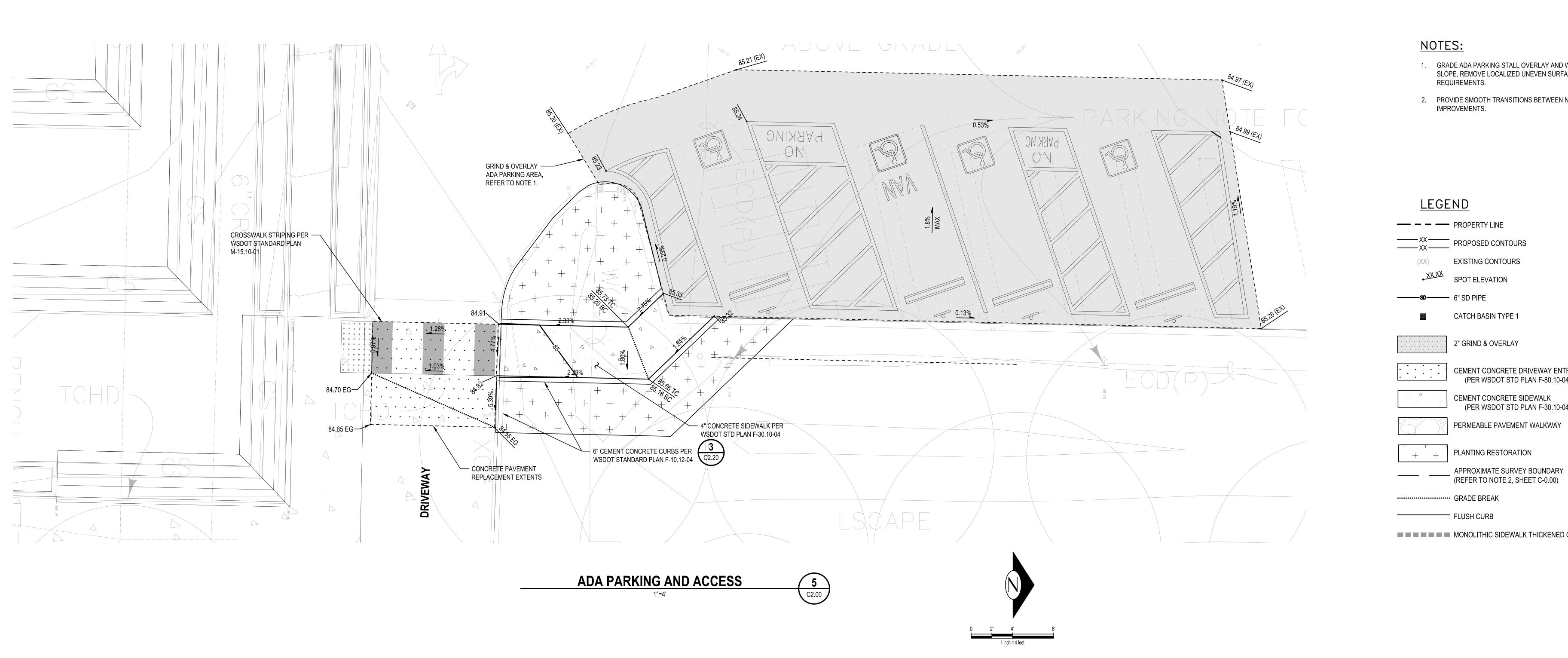
Project Name Riot Games Seattle - Exterior Upgrades Project Number 05.3853.000 Description GRADING ENLARGEMENTS

Scale

C2.12

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J 1' 2' 1 inch = 2 feet



1. GRADE ADA PARKING STALL OVERLAY AND WALKWAY TO PROVIDE UNIFORM SLOPE, REMOVE LOCALIZED UNEVEN SURFACE GRADES, AND MEET ADA REQUIREMENTS.

. PROVIDE SMOOTH TRANSITIONS BETWEEN NEW AND EXISTING SURFACE IMPROVEMENTS.

- \_\_\_\_\_XX \_\_\_\_\_ PROPOSED CONTOURS
  - EXISTING CONTOURS
  - SPOT ELEVATION

  - CATCH BASIN TYPE 1
  - 2" GRIND & OVERLAY
  - CEMENT CONCRETE DRIVEWAY ENTRANCE (PER WSDOT STD PLAN F-80.10-04)
  - CEMENT CONCRETE SIDEWALK (PER WSDOT STD PLAN F-30.10-04) PERMEABLE PAVEMENT WALKWAY
  - PLANTING RESTORATION
  - \_ APPROXIMATE SURVEY BOUNDARY
- MONOLITHIC SIDEWALK THICKENED CURB

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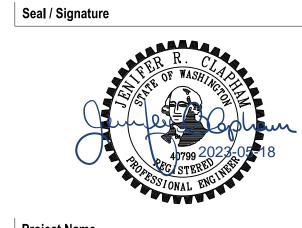
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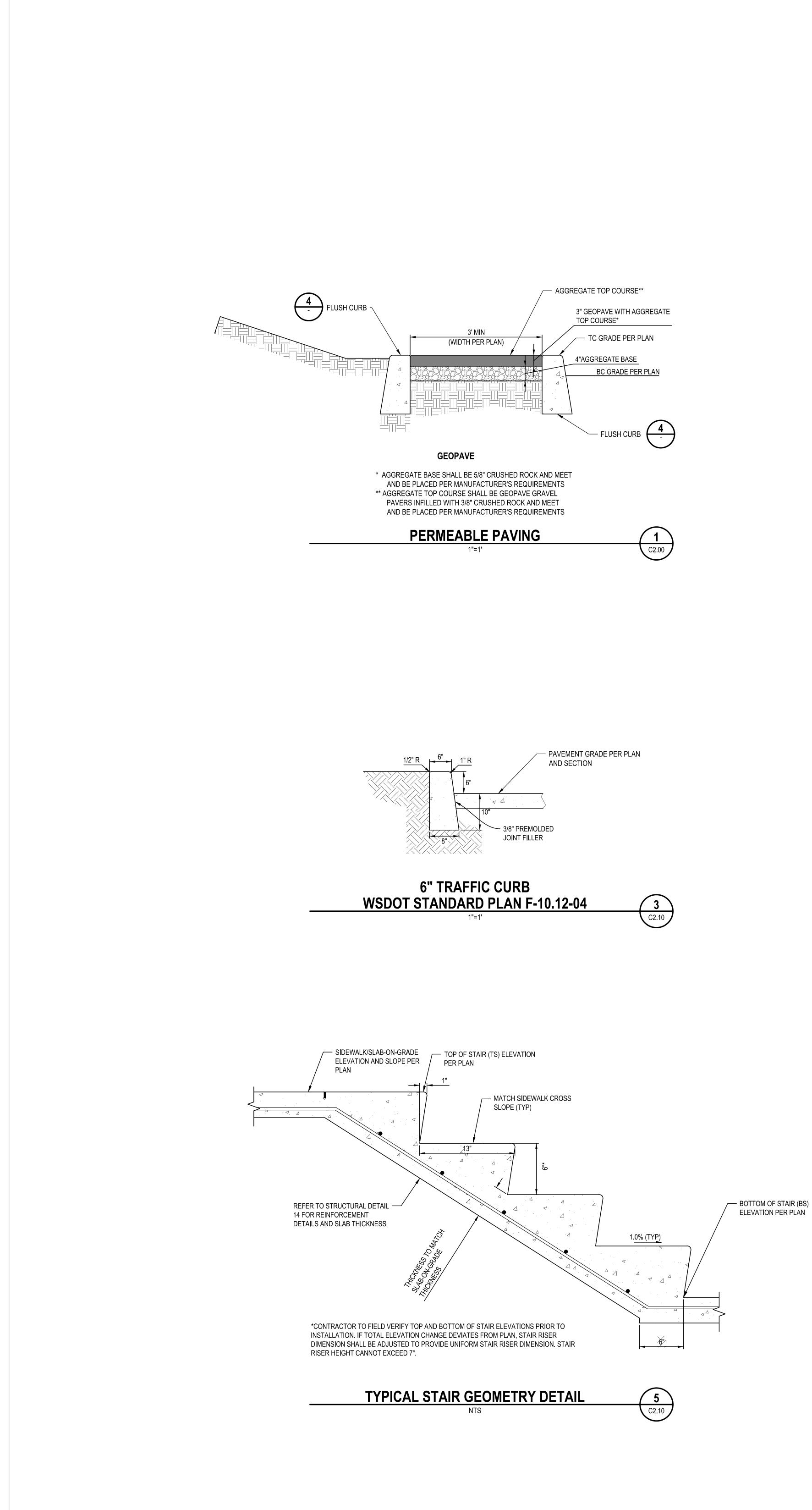


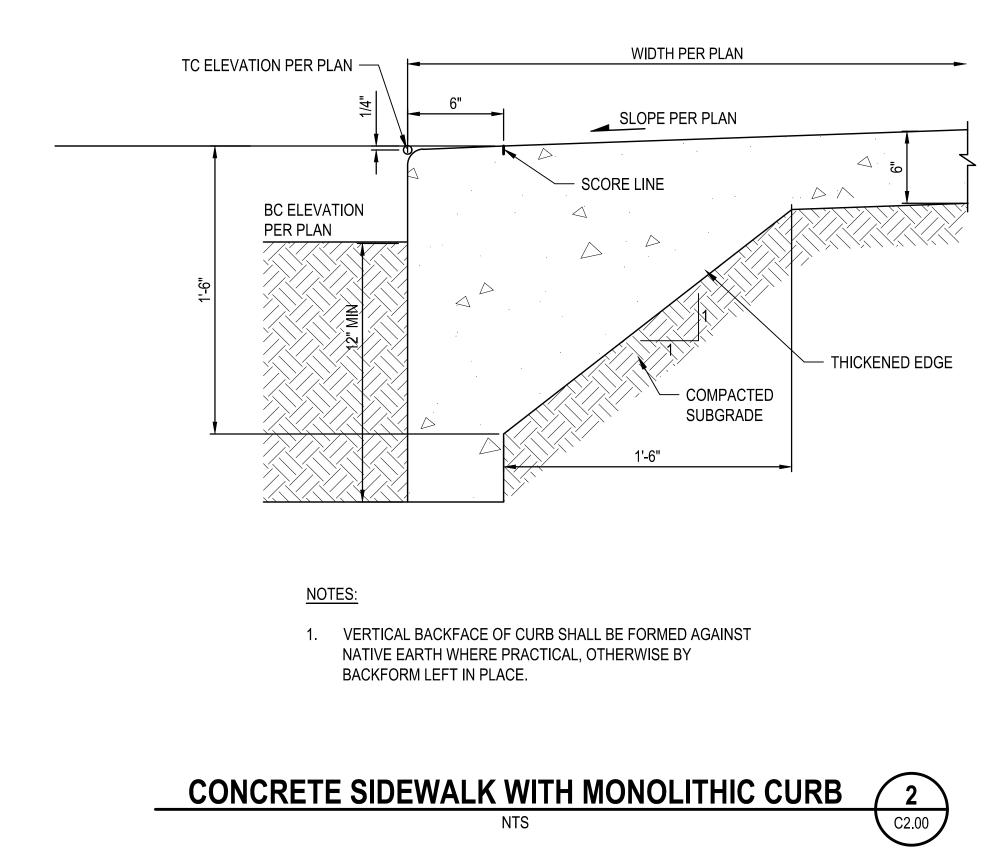
Project Name Riot Games Seattle - Exterior Upgrades Project Number 05.3853.000 Description GRADING ENLARGEMENTS

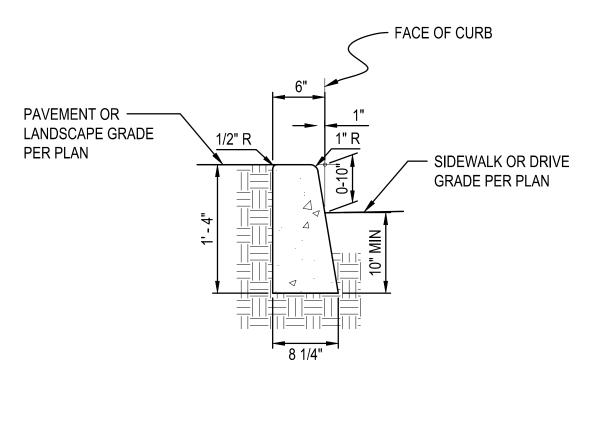
Scale

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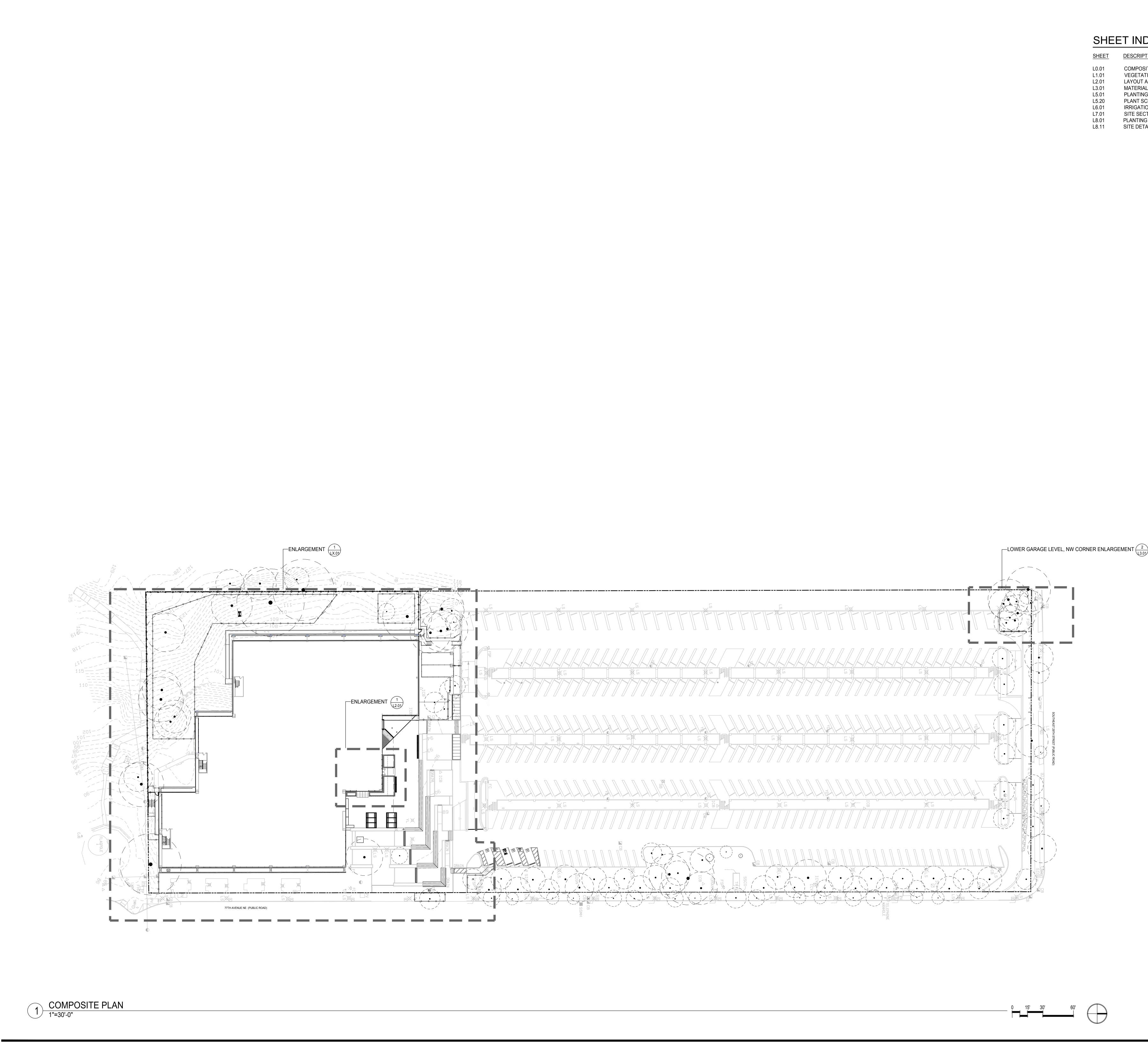








| RIOT GAMES<br>3003 77th Avenue SoutheastMercer Island<br>WA 98040  |
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| △ Date       Description         04/21/2023       ISSUE CD 90%         05/10/2023       ISSUE FOR PERMIT                   |
| Seal / Signature   |
| Project Name<br>Riot Games Seattle - Exterior<br>Upgrades<br>Project Number<br>05.3853.000<br>Description<br>CIVIL DETAILS |
| Scale  |
| <b>C2.20</b><br>© 2023 Gensler   |



# SHEET INDEX

| EET | DESCRIPTION                          |
|-----|--------------------------------------|
| 24  |                                      |
| 01  | COMPOSITE PLAN                       |
| 01  | VEGETATION REMOVAL PLAN              |
| D1  | LAYOUT AND GRADING PLAN - ENTRY      |
| 01  | MATERIALS PLAN                       |
| 01  | PLANTING PLAN                        |
| 20  | PLANT SCHEDULE AND NOTES             |
| 01  | IRRIGATION PLAN, SCHEDULE, AND NOTES |
| D1  | SITE SECTIONS                        |
| D1  | PLANTING AND IRRIGATION DETAILS      |
| 11  | SITE DETAILS                         |
|     |                                      |

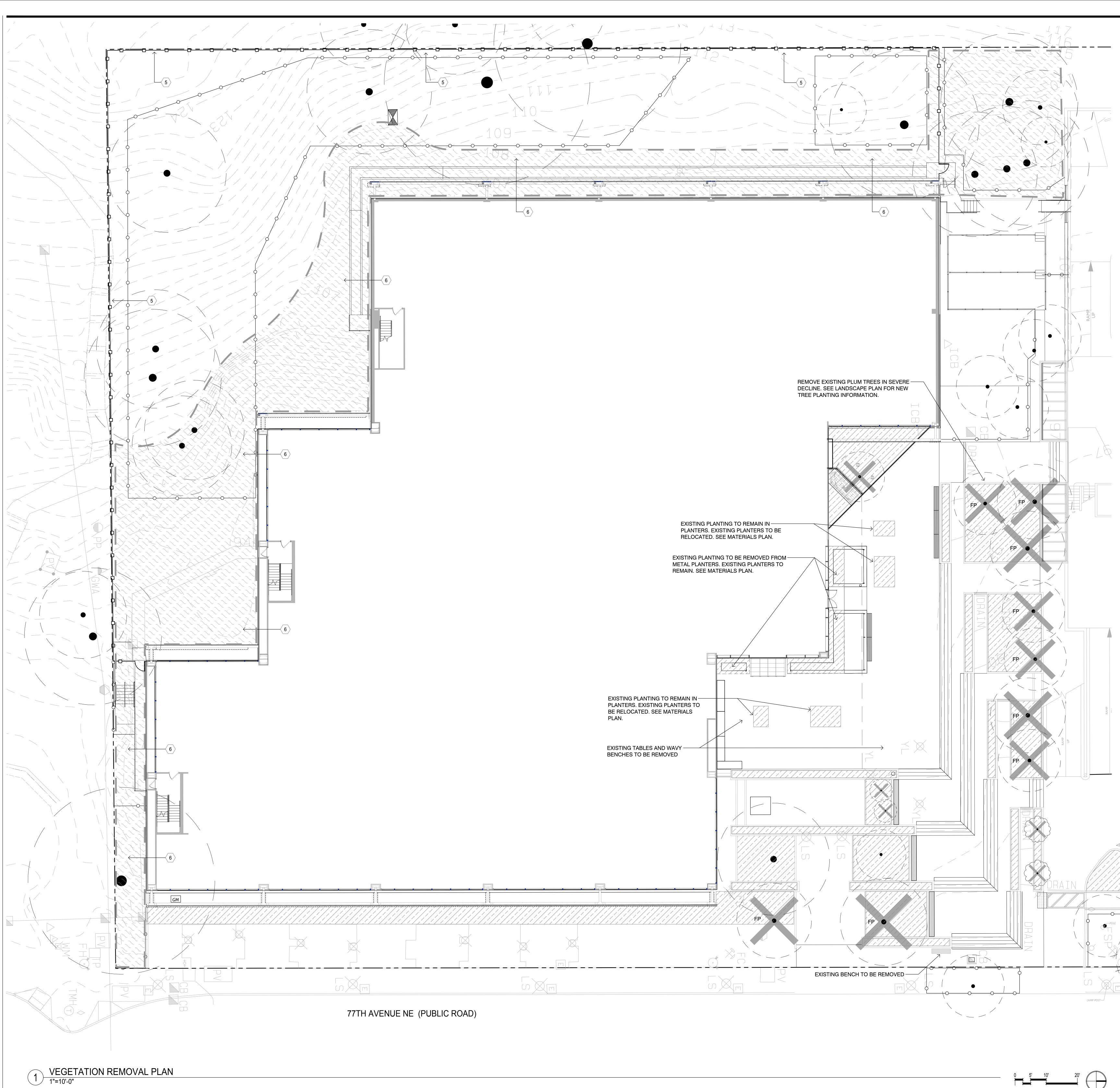
# **RIOT GAMES**

3003 77th Avenue SoutheastMercer Island WA 98040

## Brumbaugh & Associates

Landscape Architecture 600 North 85th Street, Suite 102 Seattle, WA 98103 - 3826 Telephone 206 782 3650 Facsimile 206 782 3675

 $\triangle$  Date Description 4.21.2023 50% CD 5.10.2023 90% CD PROGRESS SET 5.19.2023 ISSUE FOR PERMIT CERTIFICATE NO. 815 Seal / Signature Project Name Riot Games Seattle - Exterior Upgrades Project Number 2022-05RIOT Description COMPOSITE PLAN Scale L0.01 © 2023



| EXISTING<br>LEGEND | G TREE AND VEGETATION  |
|--------------------|--|
|                    | EXISTING SIGNIFICANT TREE TO REMAIN                            |
|                    | EXISTING SIGNIFICANT TREE TO BE REMOVED<br>FP - FLOWERING PLUM |
|                    | EXISTING VEGETATION TO BE REMOVED                              |
| 5                  | CLEAN UP, PRUNING, AND BRUSH REMOVAL                           |
| O                  | TREE PROTECTION FENCING  |
| O                  | NEW METAL FENCE SHOWN FOR REFERENCE.<br>SEE MATERIALS PLANS    |

NOTES:

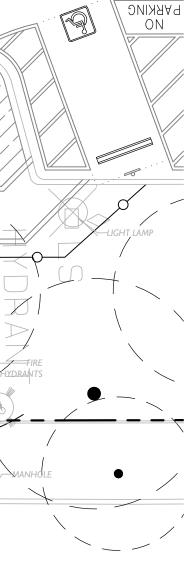
- 1. ALL VEGETATION TO REMAIN UNLESS OTHERWISE INDICATED.
- 2. HAND DIG ONLY WITHIN TREE PROTECTION FENCING AND AROUND ROOTS. NO HEAVY MACHINERY ALLOWED WITHIN TREE PROTECTION FENCING.
- CUT ALL IVY AWAY FROM BASE OF TREES AND COMPLETELY CUT THROUGH IVY STEMS GROWING ON TRUNKS.
- 4. NO CONSTRUCTION STAGING OR STOCKPILING WITHIN TREE PROTECTION FENCING.
- 5 PROVIDE CLEANUP AND PRUNING OF EXISTING VEGETATION; AND BRUSH REMOVAL OF INVASIVE VEGETATION, ALONG NEW FENCE LINE ON PROPERTY, AS NECESSARY TO INSTALL NEW FENCE.
- 6 ERADICATE ALL BLACKBERRY AND PRUNE BACK IVY IN AREAS TO RECEIVE NEW WORK.

# **RIOT GAMES**

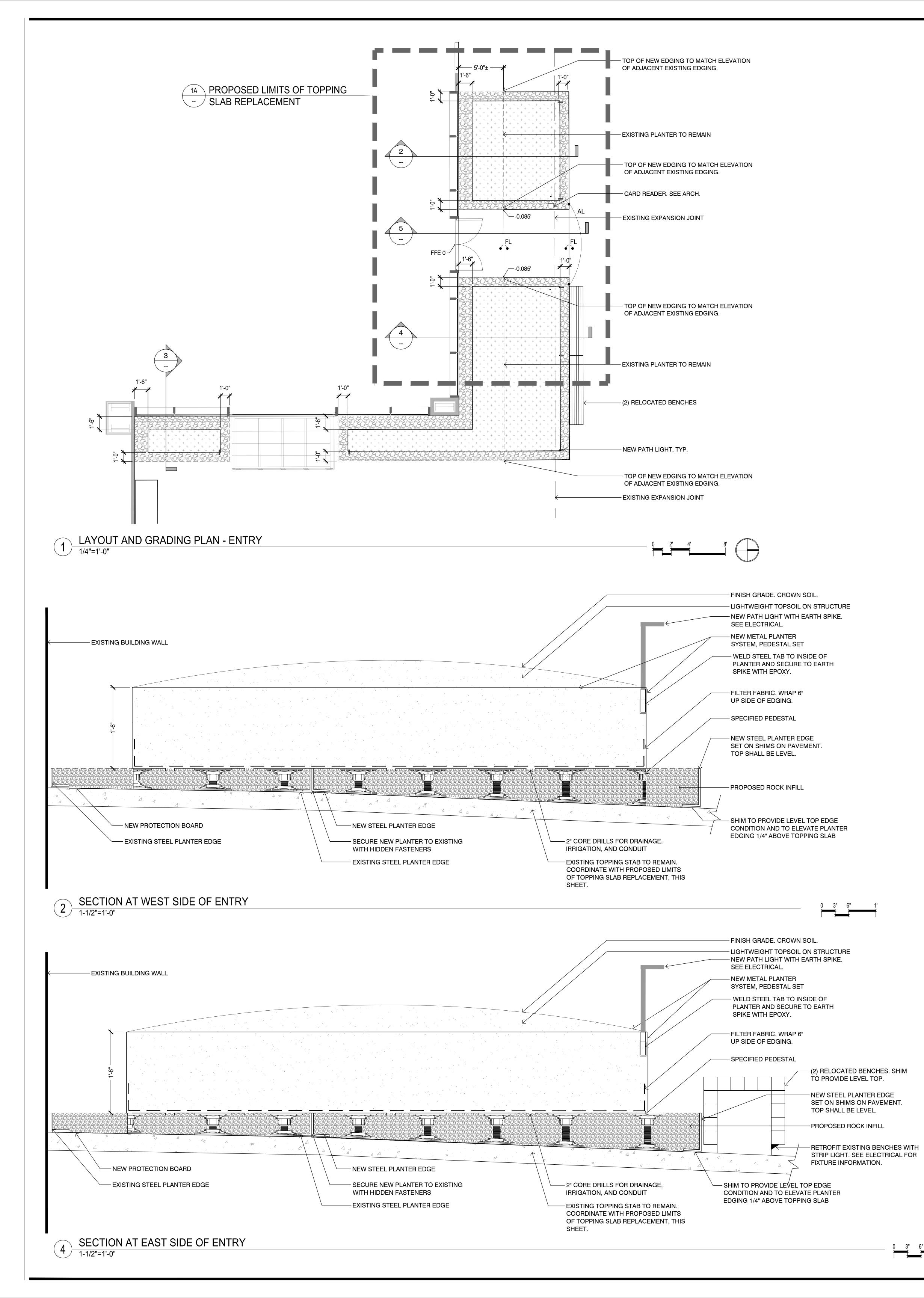
3003 77th Avenue SoutheastMercer Island WA 98040

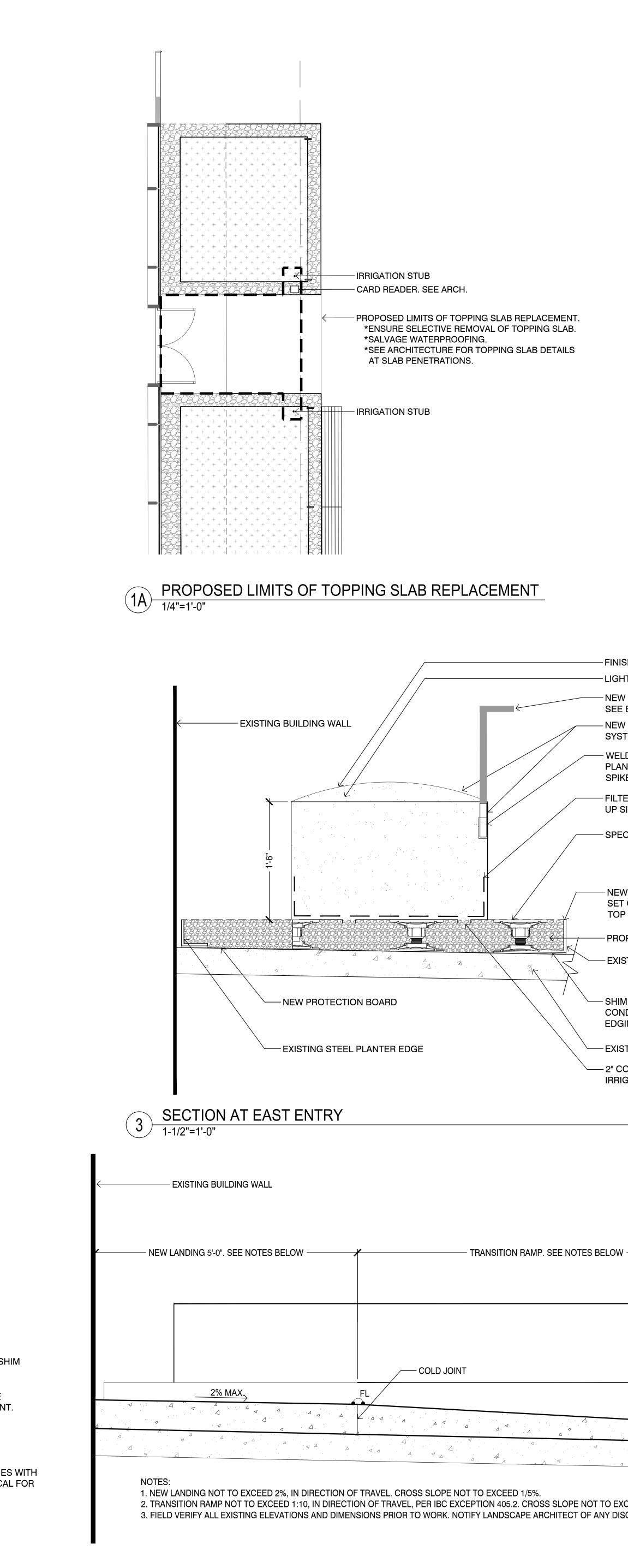
## Brumbaugh & Associates Landscape Architecture

600 North 85th Street, Suite 102 Seattle, WA 98103 - 3826 Telephone 206 782 3650 Facsimile 206 782 3675



| △ Date<br>4.21.2023    | Description<br>50% CD   |
|------------------------|---|
| 5.10.2023<br>5.19.2023 | 90% CD PROGRESS SET<br>ISSUE FOR PERMIT   |
|                        |   |
| Seal / Signatur        | STATE OF<br>WASHINGTON<br>REGISTERED<br>KRISTER B. LUNDQUIST<br>CERTIFICATE NO. 815   |
| Project Name           | washington<br>REGISTERED<br>WASHINGTON<br>REGISTERED<br>WASHINGTON<br>REGISTERED<br>KRISKEN B. LUNDQUIST<br>CERTIFICATE NO. 815 |

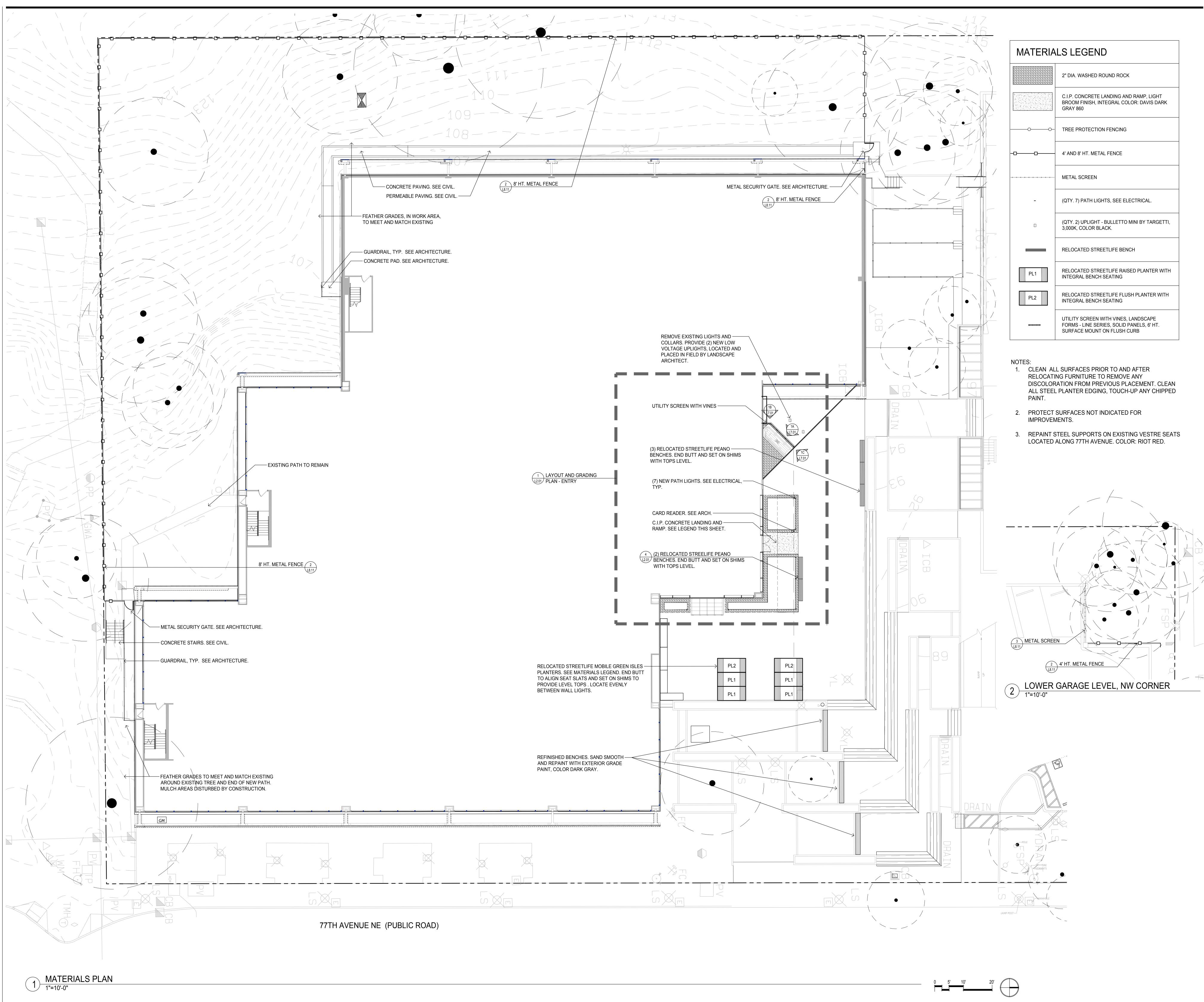




# 5 RAMP SECTION AT ENTRY

0 3" 6" 1'

|   |  | <b>RIOT GAMES</b>  |
|---|--|--|
|   |  | 3003 77th Avenue SoutheastMercer Island<br>WA 98040  |
|   | ESCRIPTION<br>ANTING AREA  | Brumbaugh & Associates   |
|   | IGN (ONE WAY)<br>USH   | Landscape Architecture   |
|   | ISTING EXPANSION JOINT   | 600 North 85th Street, Suite 102<br>Seattle, WA 98103 - 3826<br>Telephone 206 782 3650<br>Facsimile 206 782 3675 |
| LAYOUT NC   |  |  |
| ON PLAN.  | ES SHALL BE 90 DEGREES UNLESS NOTED  |  |
| DEVIATION<br>BY THE LA<br>CONSTRU   |  |  |
| POSSIBLE  | ALKS AND SCORE JOINTS AS CLOSELY AS<br>TO PLANS, DETAILS, AND SPECIFICATIONS.<br>NTS WITH INTERSECTION OF PAVING AND<br>RNERS.                 |  |
| BASED ON<br>CONTRAC   | VATIONS AND DIMENSIONS SHOWN ARE<br>AS-BUILT INFORMATION PROVIDED.<br>TOR TO VERIFY FIELD CONDITIONS AND<br>NDSCAPE ARCHITECT OF ANY<br>NCIES. |  |
|   |  |  |
|   |  |  |
|   |  |  |
|   |  |  |
|   |  |  |
|   |  |  |
| IISH GRADE. CROWN SOIL.<br>HTWEIGHT TOPSOIL ON STF<br>W PATH LIGHT WITH EARTH<br>E ELECTRICAL.<br>W METAL PLANTER<br>STEM, PEDESTAL SET<br>ELD STEEL TAB TO INSIDE OF<br>ANTER AND SECURE TO EAR<br>IKE WITH EPOXY. | SPIKE.<br>F  |  |
| TER FABRIC. WRAP 6"<br>SIDE OF EDGING.  |  |  |
| ECIFIED PEDESTAL  |  | △ Date Description   |
| W STEEL PLANTER EDGE<br>T ON SHIMS ON PAVEMENT.<br>P SHALL BE LEVEL.  |  | 4.21.2023 50% CD<br>5.10.2023 90% CD PROGRESS SET<br>5.19.2023 ISSUE FOR PERMIT                                  |
| OPOSED ROCK INFILL<br>ISTING STEEL PLANTER EDG  | ЭЕ   |  |
| IM TO PROVIDE LEVEL TOP E<br>NDITION AND TO ELEVATE P<br>GING 1/4" ABOVE TOPPING S  | PLANTER  |  |
| STING TOPPING STAB TO RE<br>CORE DRILLS FOR DRAINAGE<br>IGATION, AND CONDUIT  |  |  |
| 0 3" 6"<br>   | 1'   |  |
|   |  | STATE OF   |
|   |  | SIAIE OF<br>WASHINGTON<br>REGISTERED<br>ANDSCAPE ARCHITECT   |
| N   | 2  | KRISTER B. LUNDQUIST<br>CERTIFICATE NO. 815  |
|   | NEW PLANTER BEYOND   | Seal / Signature   |
|   | EXISTING EXPANSION JOINT   |  |
|   | AND MATCH NEW RAMP<br>FLUSH WITH EXISTING PAVING   |  |
|   | EXISTING TOPPING SLAB TO<br>REMAIN.  | Project Name   |
|   |  | Riot Games Seattle - Exterior<br>Upgrades<br>Project Number  |
|   | $ \begin{array}{c} A \\ A $  | 2022-05RIOT  |
| XCEED 1.5%.<br>ISCREPANCIES.  |  | LAYOUT AND GRADING   |
|   |  | PLAN - ENTRY   |
|   |  | Scale  |
|   |  |  |
|   |  | L2.01  |



|          | 2" DIA. WASHED ROUND ROCK  |
|----------|--|
|          | C.I.P. CONCRETE LANDING AND RAMP, LIGHT<br>BROOM FINISH, INTEGRAL COLOR: DAVIS DARK<br>GRAY 860                  |
| 0_       | TREE PROTECTION FENCING  |
| -0       | 4' AND 8' HT. METAL FENCE  |
| 0-0-0-00 | METAL SCREEN   |
| -        | (QTY. 7) PATH LIGHTS, SEE ELECTRICAL.  |
| Ф        | (QTY. 2) UPLIGHT - BULLETTO MINI BY TARGETTI,<br>3,000K, COLOR BLACK.  |
|          | RELOCATED STREETLIFE BENCH   |
| _1       | RELOCATED STREETLIFE RAISED PLANTER WITH<br>INTEGRAL BENCH SEATING   |
| _2       | RELOCATED STREETLIFE FLUSH PLANTER WITH<br>INTEGRAL BENCH SEATING  |
|          | UTILITY SCREEN WITH VINES, LANDSCAPE<br>FORMS - LINE SERIES, SOLID PANELS, 6' HT.<br>SURFACE MOUNT ON FLUSH CURB |

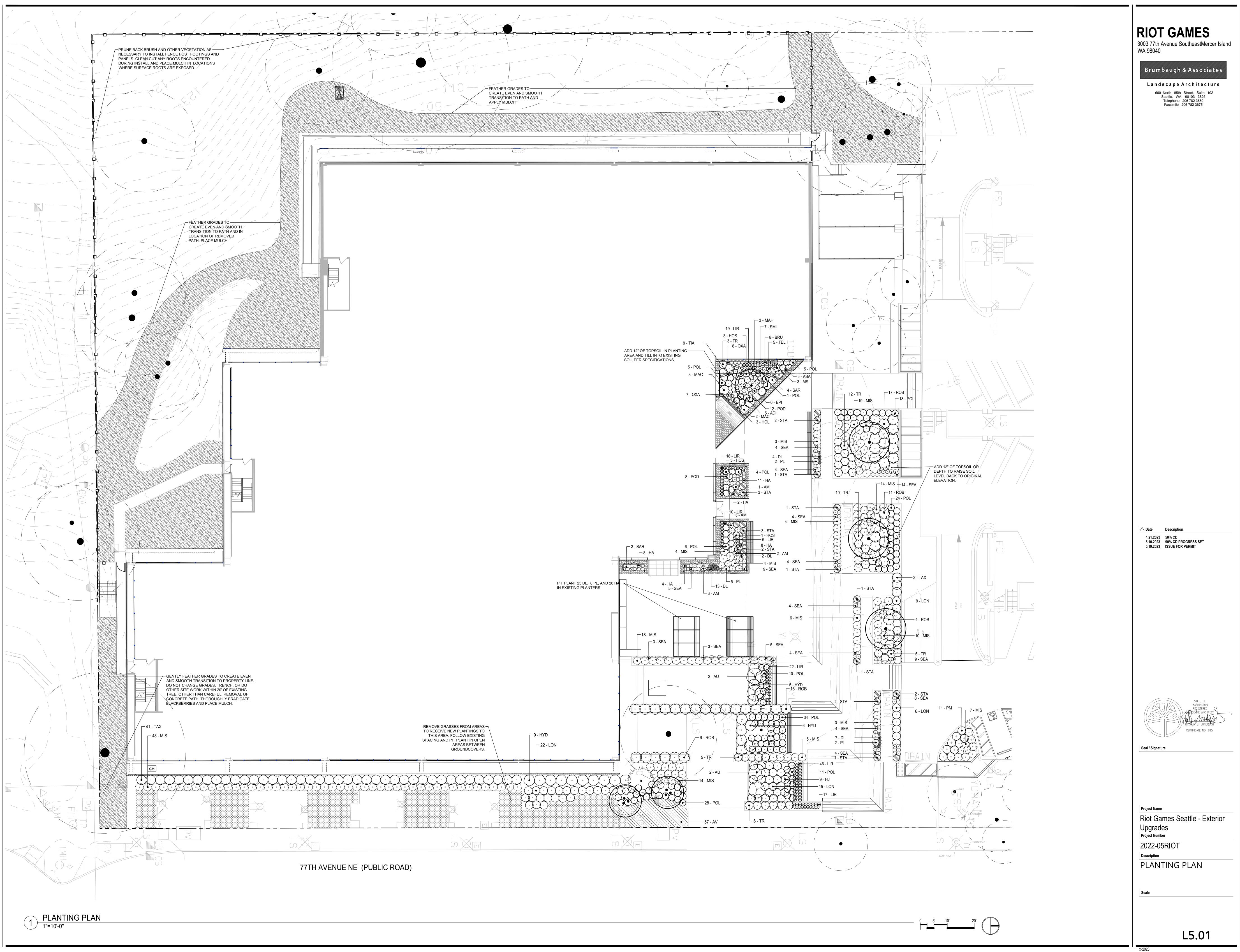
# **RIOT GAMES**

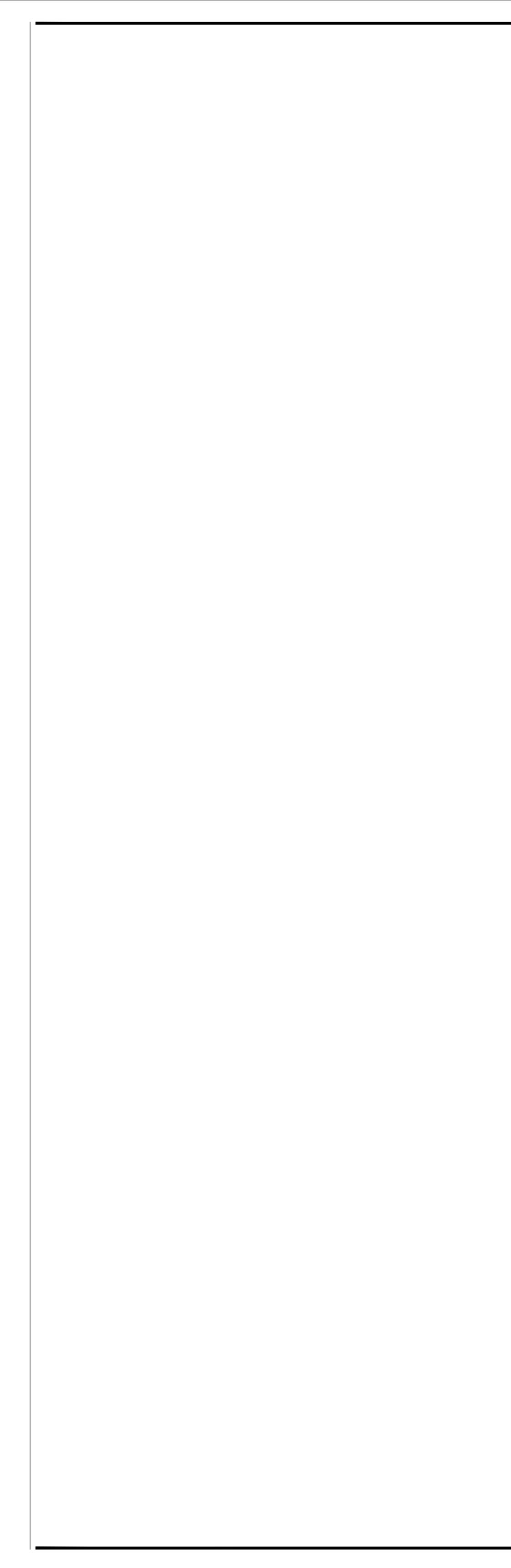
3003 77th Avenue SoutheastMercer Island WA 98040



△ Date Description 4.21.2023 50% CD 5.10.2023 90% CD PROGRESS SET 5.19.2023 ISSUE FOR PERMIT STATE OF WASHINGTON REGISTERED CERTIFICATE NO. 815 Seal / Signature Project Name Riot Games Seattle - Exterior Upgrades Project Number 2022-05RIOT Description MATERIALS PLAN Scale

L3.01





| TREES                       | CODE | <u>QTY</u> | BOTANICAL NAME                           | COMMON NAME                           | <u>SIZE</u> |                | REMARKS                    |
|-----------------------------|------|------------|--|---------------------------------------|-------------|----------------|----------------------------|
| ••                          |      | 4          | CORNUS KOUSA                             | KOUSA DOGWOOD                         | 12` HT.     |                | MULTI-STEM                 |
|                             |      | 1          | STEWARTIA PSEUDOCAMELLIA                 | JAPANESE STEWARTIA                    | 16` HT.     |                | MULTI-STEM, SPECIMEN QUALI |
| Man Marine Standard         |      | 2          | THUJA PLICATA 'EXCELSA'                  | EXCELSA WESTERN RED CEDAR             | 6`-8` HT.   |                |                            |
| <u>SHRUBS</u>               | CODE | <u>QTY</u> | BOTANICAL NAME                           | COMMON NAME                           | <u>SIZE</u> | SPACING        | REMARKS                    |
|                             | HYD  | 9          | HYDRANGEA QUERCIFOLIA 'ALICE'            | ALICE OAKLEAF HYDRANGEA               | 3 GAL       | 48" o.c.       |                            |
| $\odot$                     | MAH  | 8          | MAHONIA NERVOSA                          | OREGON GRAPE                          | 2 GAL       | 24" o.c.       |                            |
| $\bigcirc$                  | MAC  | 4          | MAHONIA X MEDIA 'CHARITY'                | CHARITY MAHONIA                       | 5 GAL       | 48" o.c.       |                            |
|                             | MIC  | 3          | MICROBIOTA DECUSSATA 'PRIDES'            | CELTIC PRIDE® SIBERIAN CARPET CYPRESS | 3 GAL       | 36" o.c.       |                            |
| $\langle \cdot \rangle$     | ROB  | 28         | ROSA RUGOSA 'BLANC DOUBLE DE COUBERT'    | BLANC DOUBLE DE COUBERT ROSE          | 2 GAL       | 48" o.c.       |                            |
| $\overline{\mathbf{\cdot}}$ | SAR  | 26         | SARCOCOCCA RUSCIFOLIA                    | FRAGRANT SWEETBOX                     | 2 GAL       | 36" o.c.       |                            |
|                             | TAX  | 41         | TAXUS X MEDIA `HICKSII`                  | HICKS YEW                             | 5 GAL       | 42" o.c.       |                            |
| FERNS                       | CODE | QTY        | BOTANICAL NAME                           | COMMON NAME                           | SIZE        | SPACING        | REMARKS                    |
| $(\pm)$                     | BLE  | 9          | BLECHNUM SPICANT                         | DEER FERN                             | 1 GAL       | 18" o.c.       |                            |
| $\odot$                     | DRY  | 11         | DRYOPTERIS ERYTHROSORA 'BRILLIANCE'      | BRILLIANCE AUTUMN FERN                | 1 GAL       | 24" o.c.       |                            |
| $\odot$                     | POL  | 8          | POLYSTICHUM MUNITUM                      | WESTERN SWORD FERN                    | 2 GAL       | 30" o.c.       |                            |
| PERENNIALS AND GRASSES      | CODE | QTY        | BOTANICAL NAME                           | COMMON NAME                           | <u>SIZE</u> | <u>SPACING</u> | REMARKS                    |
| $\oplus$                    | BRU  | 5          | BRUNNERA MACROPHYLLA 'JACK FROST'        | JACK FROST SIBERIAN BUGLOSS           | 1 GAL       | 18" o.c.       |                            |
| $(\pm)$                     | DIC  | 9          | DICENTRA SPECTABILIS 'ALBA'              | WHITE JAPANESE BLEEDING HEART         | 1 GAL       | 18" o.c.       |                            |
| •                           | HEL  | 9          | HELLEBORUS X HYBRIDUS 'WALHELIVOR'       | IVORY PRINCE HELLEBORE                | 1 GAL       | 18" o.c.       |                            |
| $\bigcirc$                  | HOS  | 4          | HOSTA SIEBOLDIANA 'ELEGANS'              | ELEGANS HOSTA                         | 1 GAL       | 30" o.c.       |                            |
| 0                           | LIR  | 104        | LIRIOPE MUSCARI 'BIG BLUE'               | BIG BLUE LILYTURF                     | 1 GAL       | 14" o.c.       |                            |
|                             | MIS  | 114        | MISCANTHUS SINENSIS 'LITTLE KITTEN'      | LITTLE KITTEN EULALIA GRASS           | 2 GAL       | 36" o.c.       |                            |
| •                           | SEA  | 40         | SEDUM SPECTABILE 'AUTUMN JOY'            | AUTUMN JOY STONECROP                  | 1 GAL       | 18" o.c.       |                            |
| ૬૾ૺ૱                        | SMI  | 22         | SMILACINA RACEMOSA                       | FALSE SOLOMON'S-SEAL                  | 1 GAL       | 24" o.c.       |                            |
| $\bigcirc$                  | STA  | 10         | STACHYS BYZANTINA 'HELEN VON STEIN'      | HELEN VON STEIN LAMB'S EAR            | 1 GAL       | 30" o.c.       |                            |
| $\odot$                     | TIA  | 14         | TIARELLA X 'CUTTING EDGE'                | CUTTING EDGE FOAMFLOWER               | 1 GAL       | 18" o.c.       |                            |
| GROUND COVERS               |      |            | BOTANICAL NAME                           | COMMON NAME                           | <u>SIZE</u> | SPACING        | REMARKS                    |
|                             |      |            | ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE' | VANCOUVER JADE KINNIKINNICK           | 1 GAL       | 24" o.c.       |                            |
|                             |      |            | BARK MULCH                               |                                       |             |                |                            |
|                             |      |            | RELOCATED GRASSES                        |                                       |             |                |                            |

## LANDSCAPE NOTES

- CONTRACTOR TO REMOVE ALL EXISTING PLANT MATERIALS, NOT INDICATED TO REMAIN, FROM ALL AREAS INDICATED TO RECEIVE NEW LANDSCAPE IMPROVEMENTS. PRIOR TO REMOVAL, VERIFY LIMITS IN THE FIELD WITH LA.
- ALL LANDSCAPE AREAS TO BE FULLY IRRIGATED BY A FULLY FUNCTIONING IRRIGATION SYSTEM SPECIFIED ON THE EXISTING IRRIGATION PLANS. RESET AND REPAIR AS NECESSARY TO PROVIDE FULL COVERAGE TO ALL LANDSCAPE AREAS IMPACTED BY IMPROVEMENTS.
- PLANTS TO BE LAID OUT BY LA IN FIELD PRIOR TO PIT PLANTING. PROVIDE QUANTITIES PRE SCHEDULE BELOW.
- EXISTING PLANTING PER EXISTING PLANS SHOWN FOR REFERENCE ONLY.

# **RIOT GAMES**

3003 77th Avenue SoutheastMercer Island WA 98040

# Brumbaugh & Associates

Landscape Architecture 600 North 85th Street, Suite 102 Seattle, WA 98103 - 3826 Telephone 206 782 3650 Facsimile 206 782 3675

4.21.2023 50% CD 5.10.2023 90% CD PROGRESS SET 5.19.2023 ISSUE FOR PERMIT

 $\triangle$  Date Description



Seal / Signature

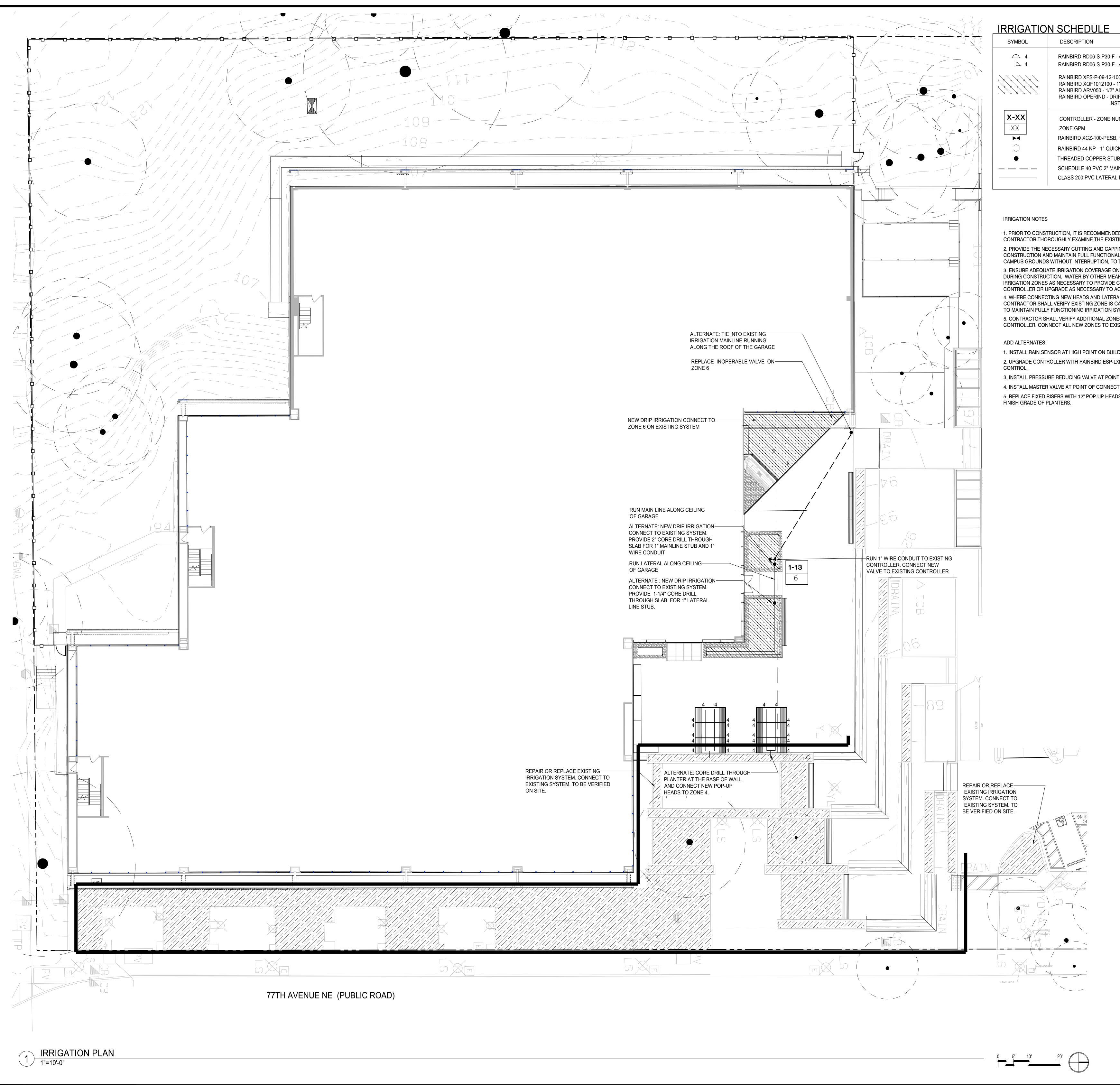
Project Name Riot Games Seattle - Exterior Upgrades Project Number

2022-05RIOT Description

PLANT SCHEDULE AND NOTES

Scale





| -108 |   |  |
|------|---|--|
|      |   |  |
|      |   |  |
|      | • |  |
|      |   |  |

|   | PSI      | RADIUS   | G.P.M.       | <b>RIOT GAMES</b><br>3003 77th Avenue SoutheastMercer Island  |
|---|----------|----------|--------------|---|
| - 4VAN<br>- 4VAN  | 30<br>30 | 4'<br>4' | 0.41<br>0.26 | WA 98040  |
| 100 - SUB-SURFACE DRIPLINE<br>- 1" DRIPLINE HEADER  | 40       |          | .9 GPH       | Brumbaugh & Associates  |
| ' AIR RELIEF VALVE<br>RIP SYSTEM OPERATION INDICATOR.<br>ISTALL ONE AT EACH ZONE  |          |          |              | Landscape Architecture<br>600 North 85th Street, Suite 102  |
| IUMBER  |          |          |              | Seattle, WA 98103 - 3826<br>Telephone 206 782 3650<br>Facsimile 206 782 3675                                  |
| B, 1" VALVE WITH BASKET FILTER<br>ICK COUPLING VALVE. PROVIDE ONE A<br>UB (OR APPROVED EQUAL). COORDINA<br>AINLINE.<br>AL LINE (SEE PIPE SIZING TABLE THIS S  | TE WITH  |          | ALVES        |   |
| DED THAT A SKILLED IRRIGATION<br>STING SYSTEM.<br>PPING IN ALL AREAS IMPACTED BY<br>IALITY OF THE EXISTING SYSTEM ON<br>O THE GREATEST EXTENT POSSIBLE.<br>ON REMAINING TREES AND SHRUBS<br>EANS OR MODIFY REMAINING<br>E COVERAGE. PROVIDE ADDITIONAL<br>ACCOMMODATE ADDITIONAL ZONES.<br>RALS TO AN EXISTING ZONE,<br>CAPABLE OF TAKING ON NEW LOAD<br>SYSTEM.<br>NES CAN BE ADDED TO EXISTING<br>XISTING CONTROLLER. |          |          |              |   |
| ILDING.   |          |          |              |   |
| LXME 24, INCLUDING A REMOTE   |          |          |              |   |
| NT OF CONNECTION.<br>CTION.   |          |          |              |   |
| ADS. TOP OF HEAD TO BE LEVEL WITH   |          |          |              |   |
|   |          |          |              |   |
|   |          |          |              |   |
|   |          |          |              |   |
|   |          |          |              |   |
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|   |          |          |              |   |
|   |          |          |              | △ Date         Description           4.21.2023         50% CD           5.10.2023         90% CD PROGRESS SET |
|   |          |          |              | 5.19.2023 ISSUE FOR PERMIT  |
|   |          |          |              |   |
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|   |          |          |              |   |
|   |          |          |              |   |
|   |          |          |              | STATE OF<br>WASHINGTON<br>REGISTERED  |
|   |          |          |              | KRISNEN B. LUNDQUIST<br>CERTIFICATE NO. 815   |
|   |          |          |              | Seal / Signature  |
|   |          |          |              |   |
|   |          |          |              |   |
|   |          |          |              |   |
|   |          |          |              | Project Name<br>Riot Games Seattle - Exterior   |
|   |          |          |              | Upgrades<br>Project Number  |
|   |          |          |              | 2022-05RIOT<br>Description  |
|   |          |          |              | IRRIGATION PLAN,<br>SCHEDULE, AND NOTES   |
|   |          |          |              | Scale   |
|   |          |          |              |   |
|   |          |          |              | 1601  |
|   |          |          |              | L6.01   |

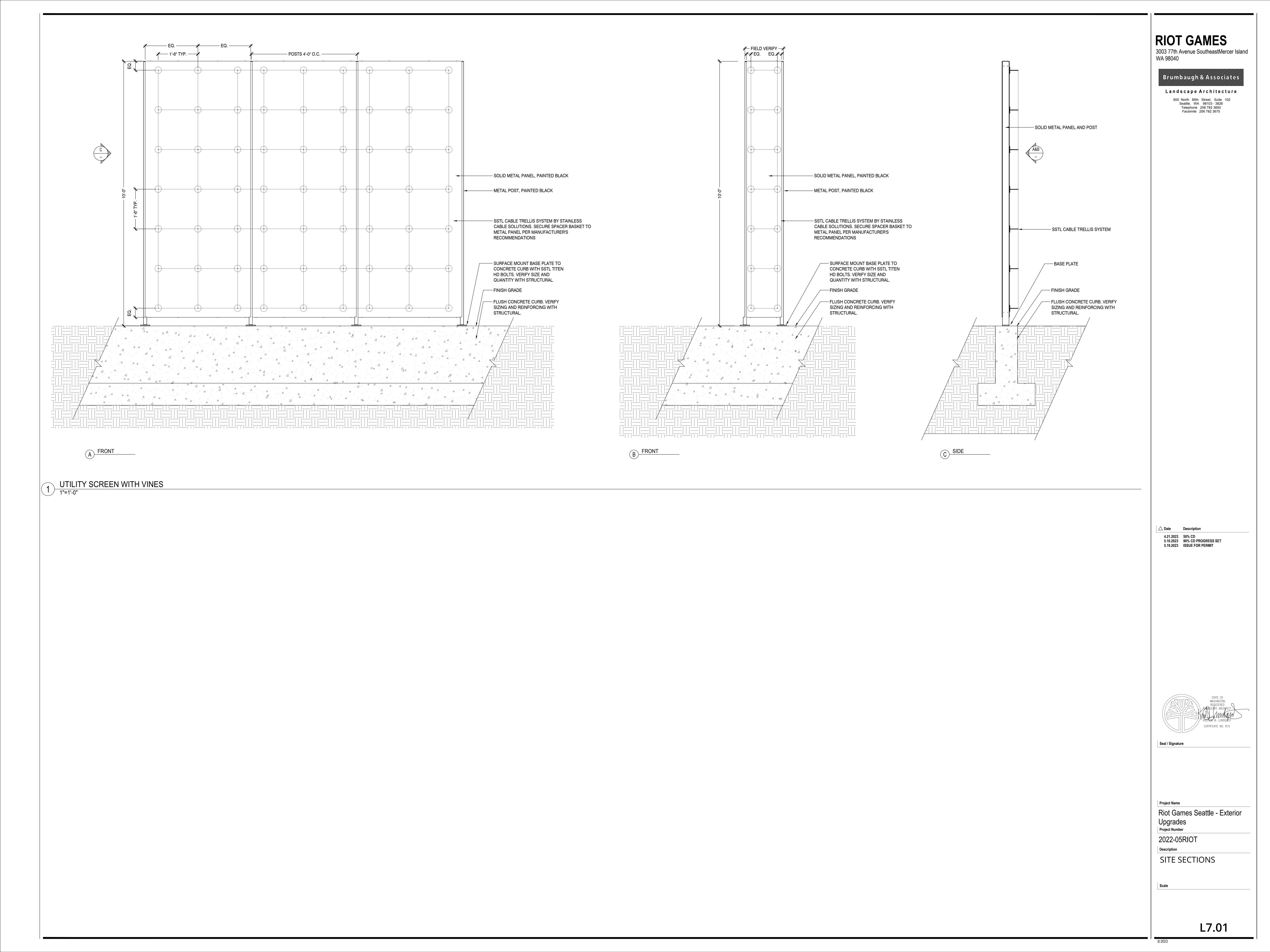
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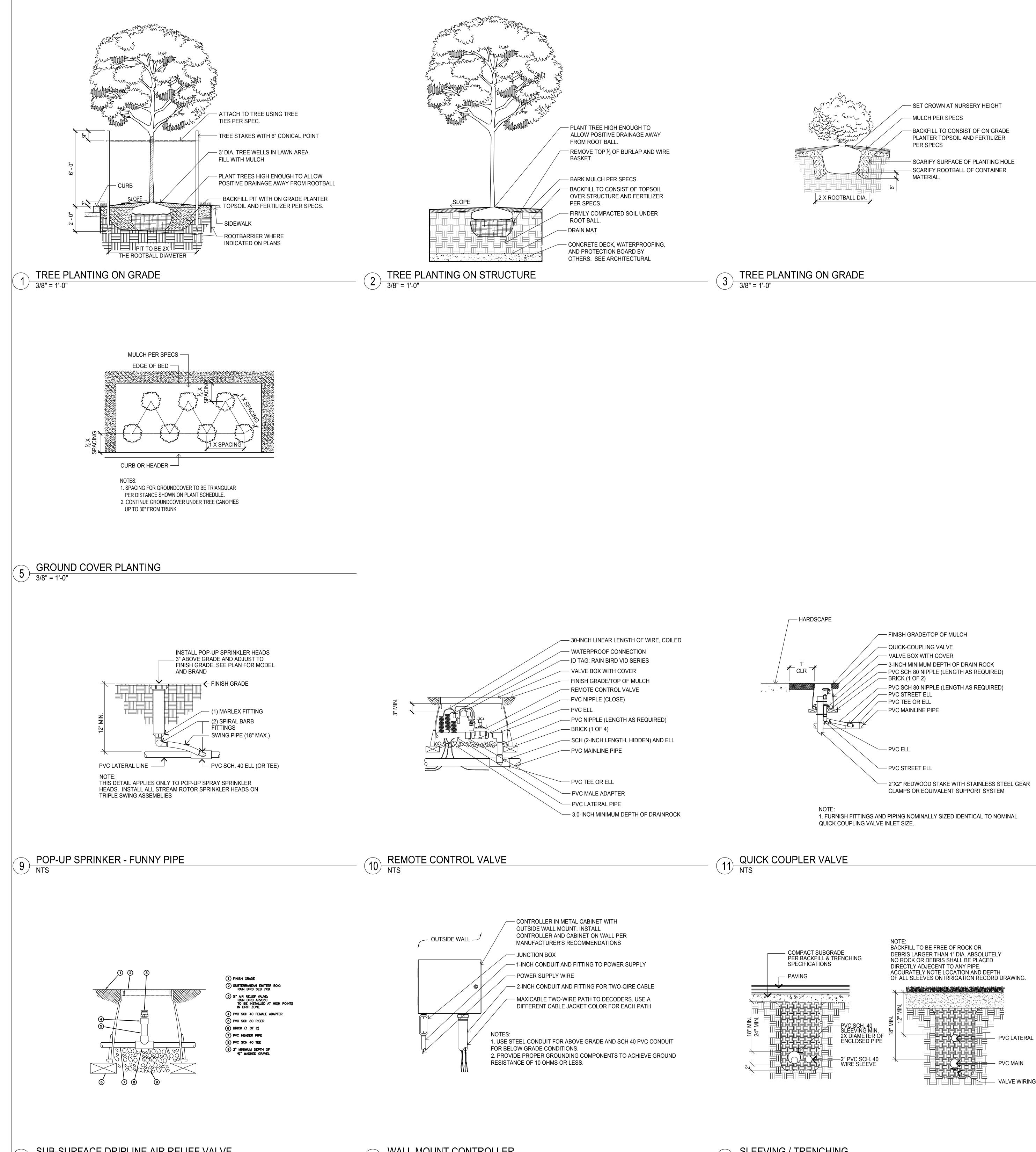
# **GAMES**

# baugh & Associates dscape Architecture



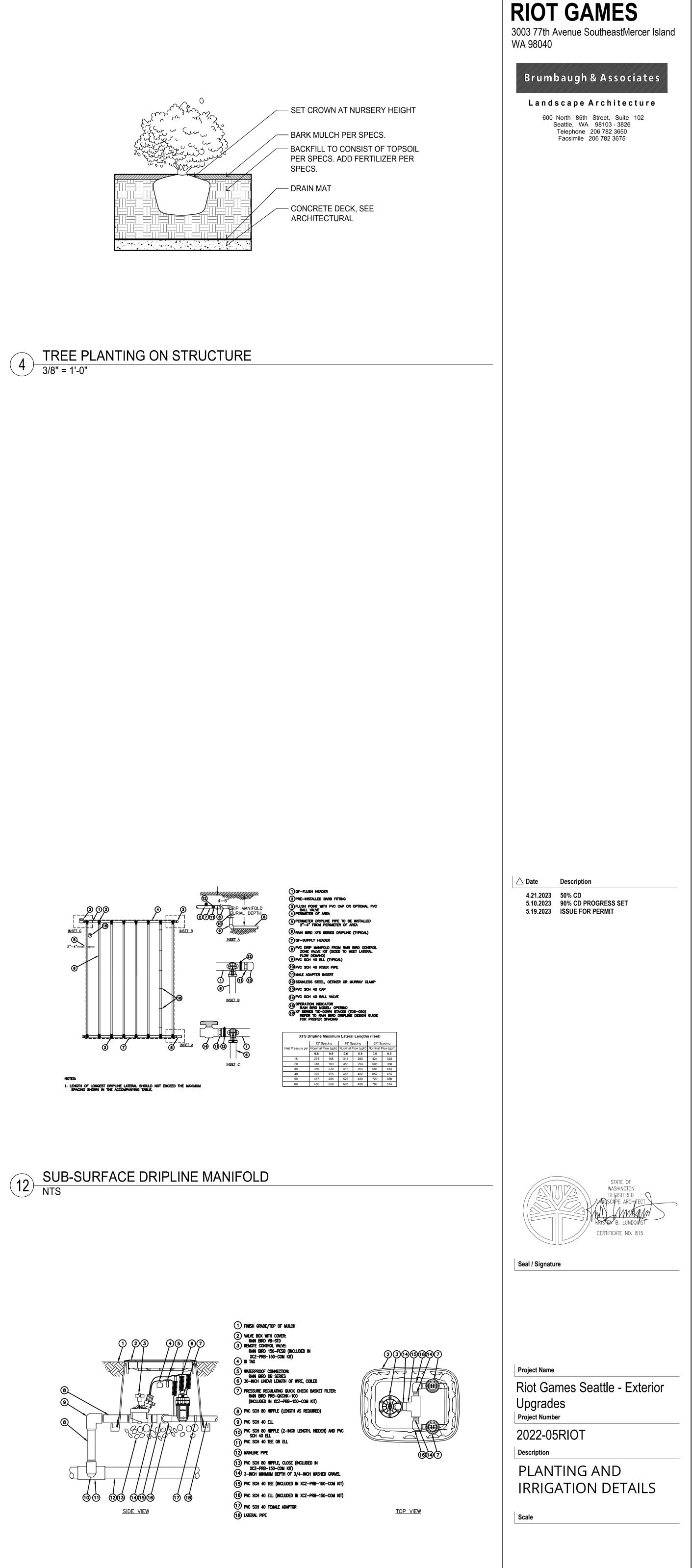
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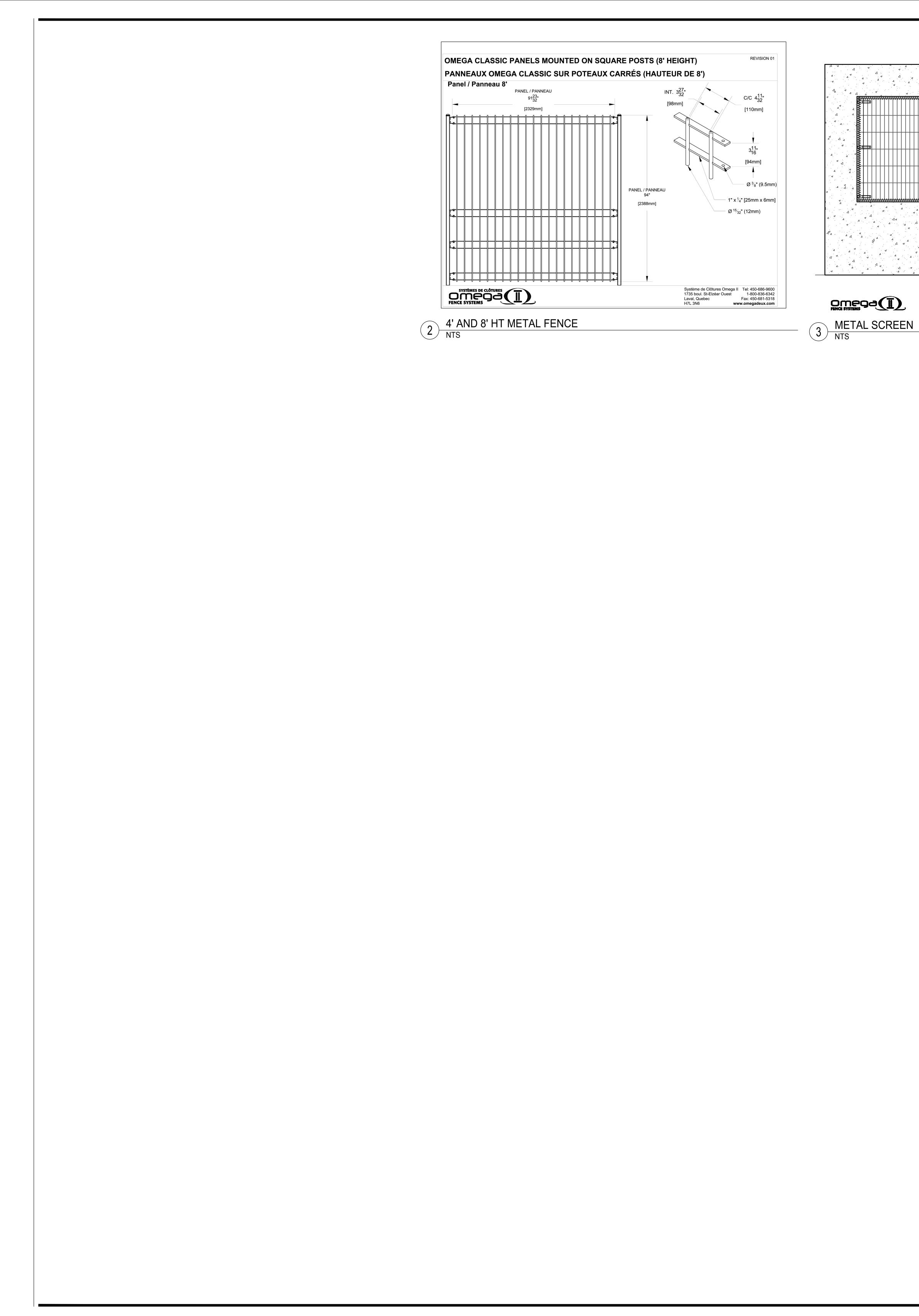
13 SUB-SURFACE DRIPLINE AIR RELIEF VALVE

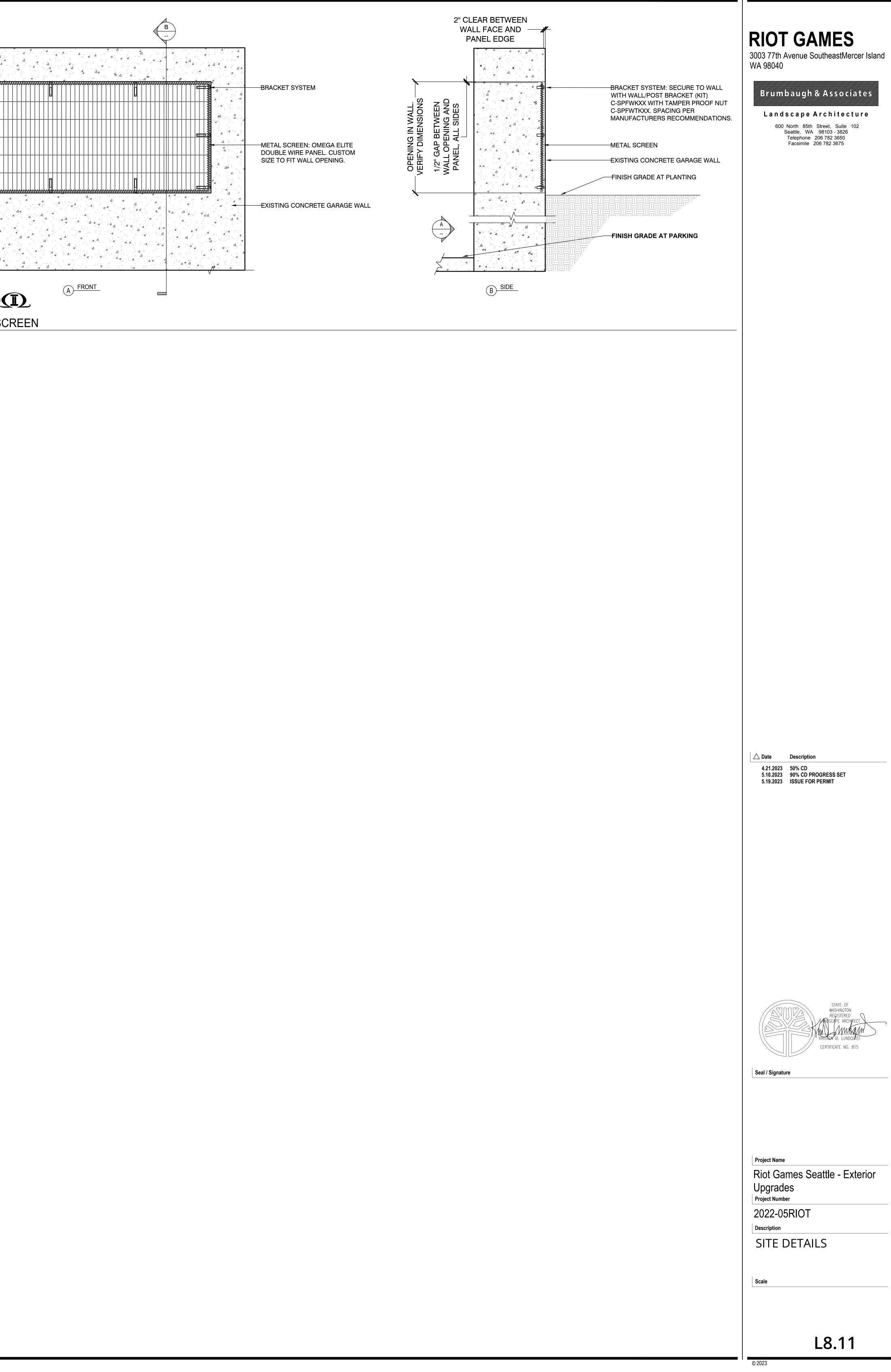
15 SLEEVING / TRENCHING

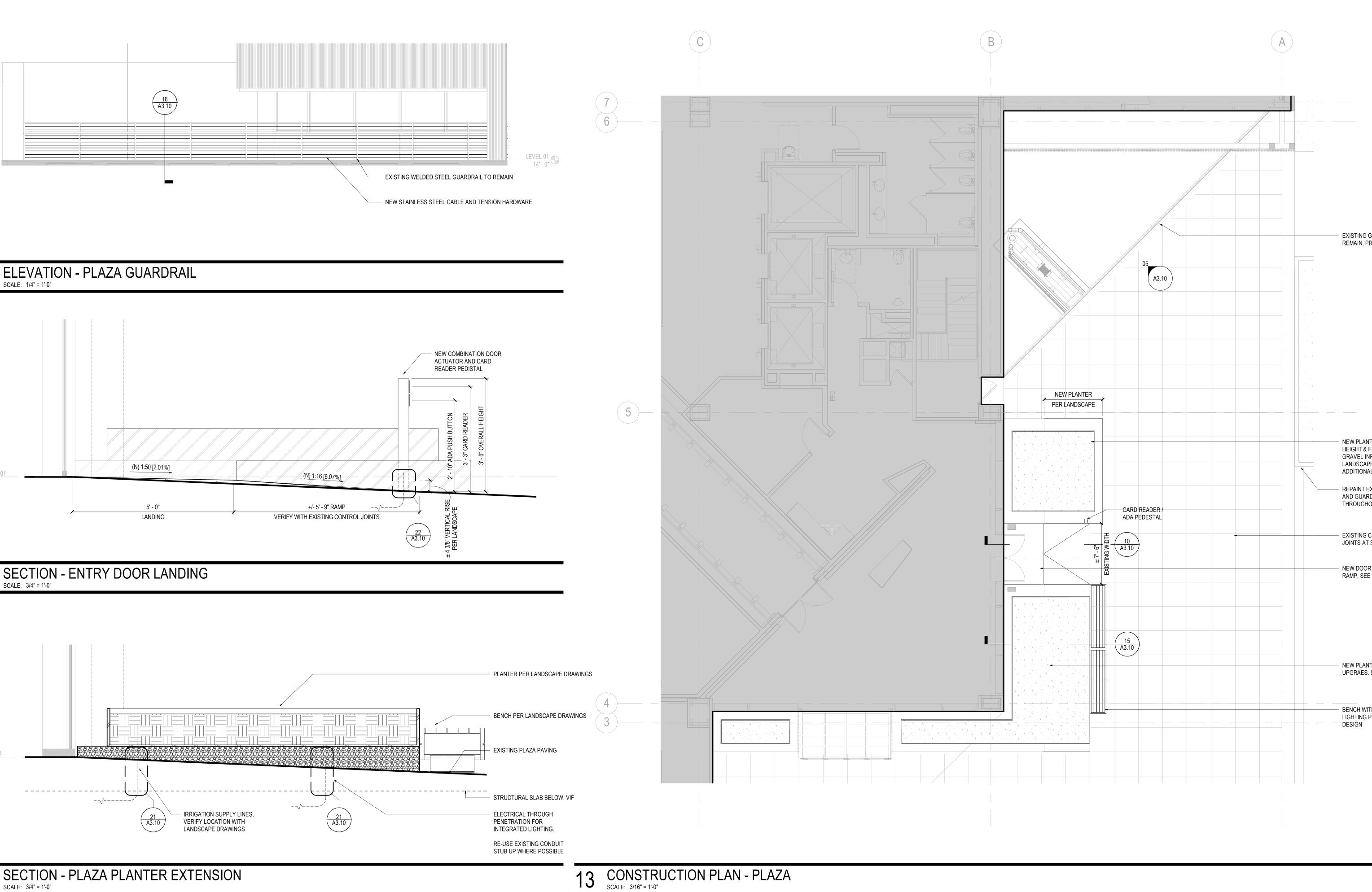


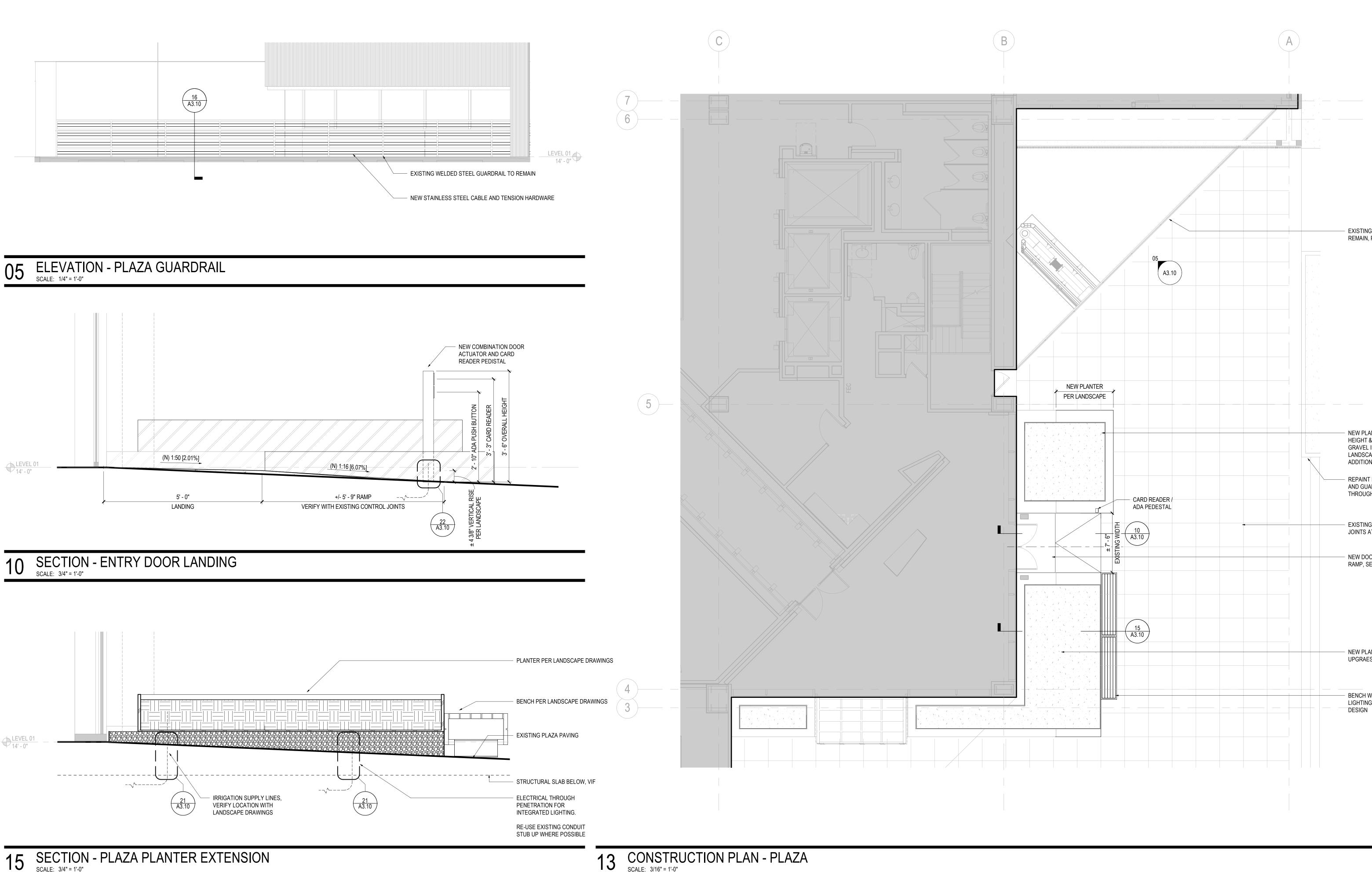
### TREE PLANTING ON STRUCTURE 3/8" = 1'-0"

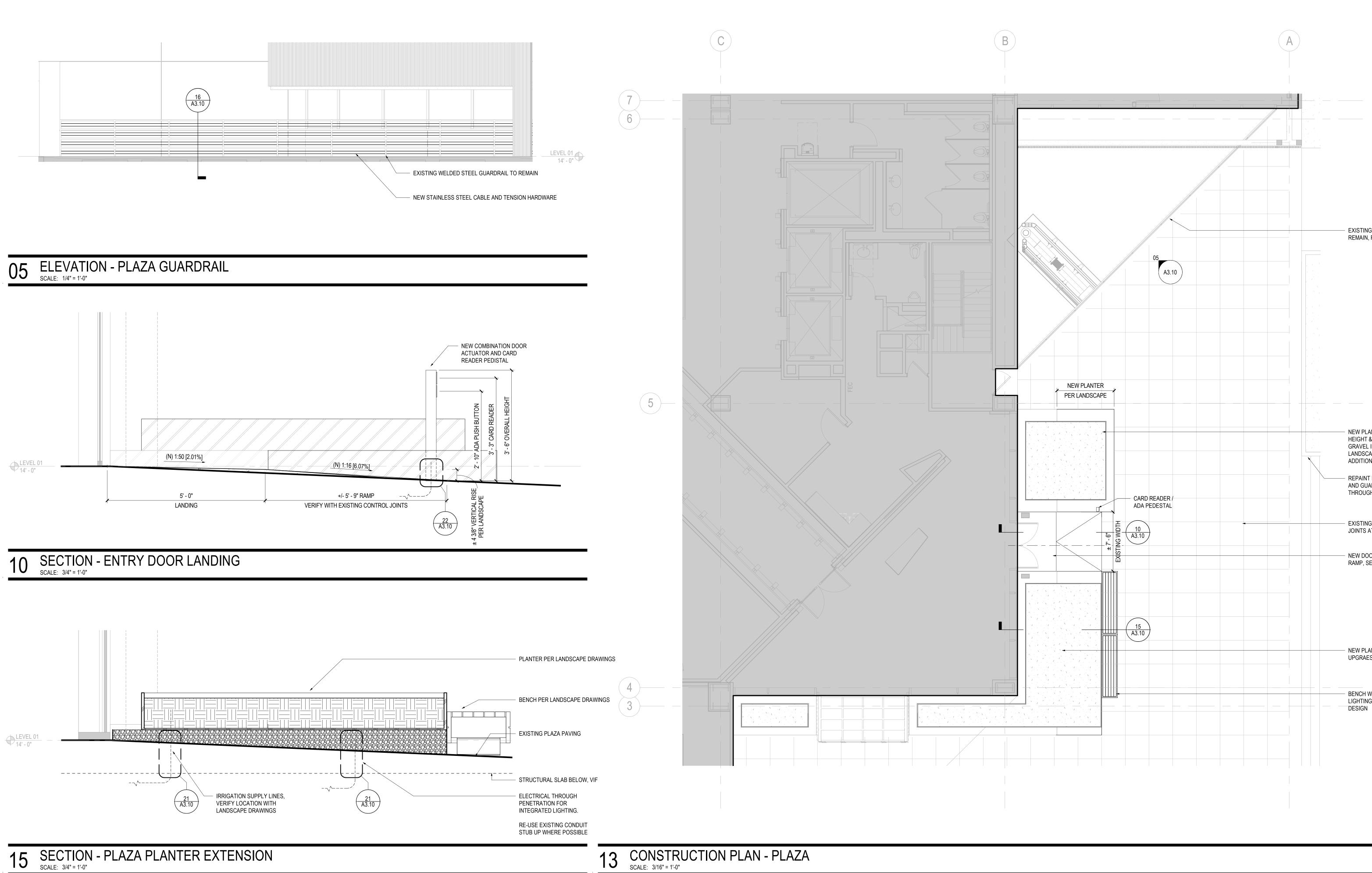
1213 141516

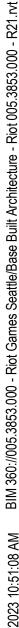


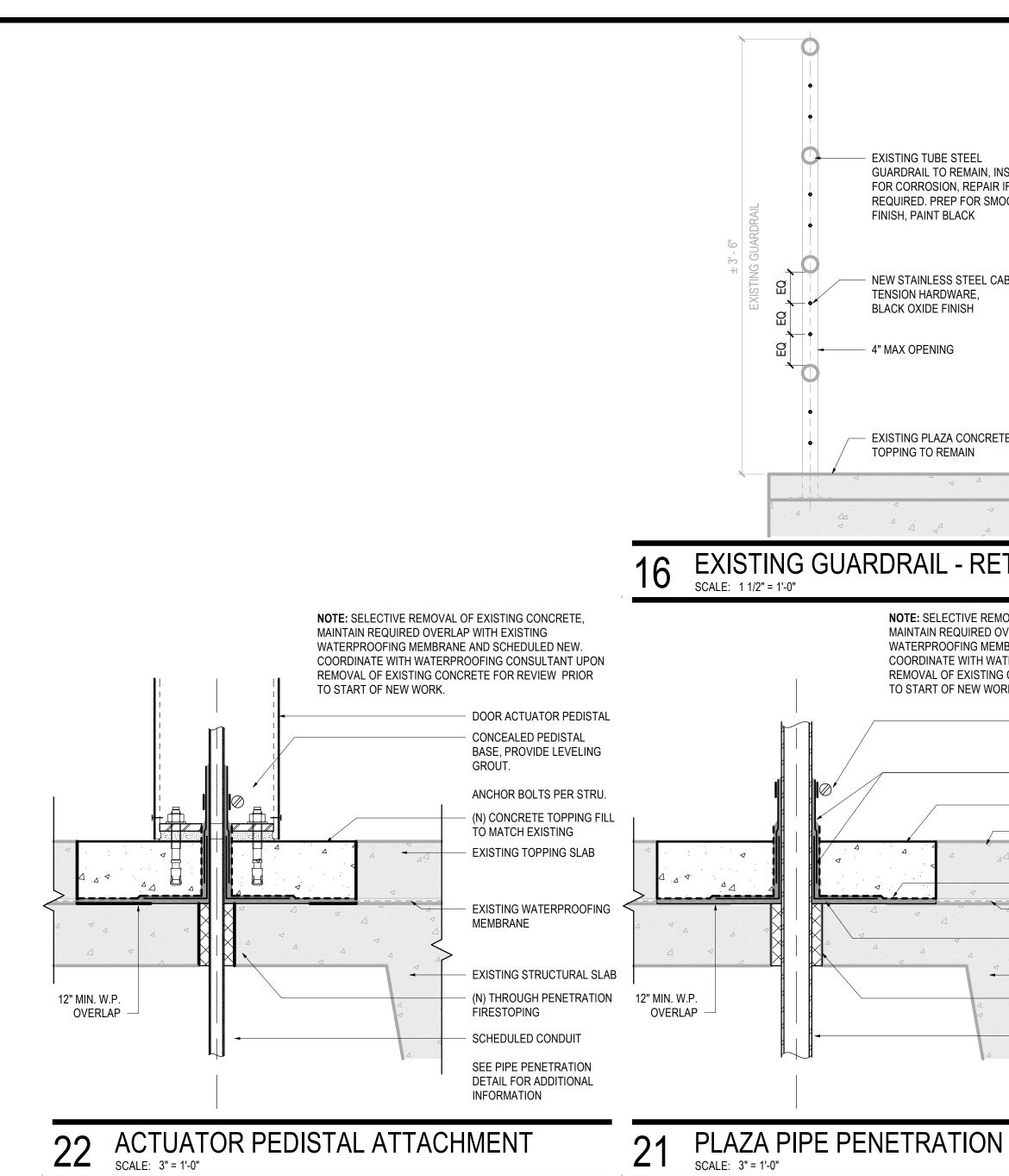




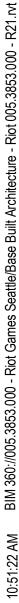


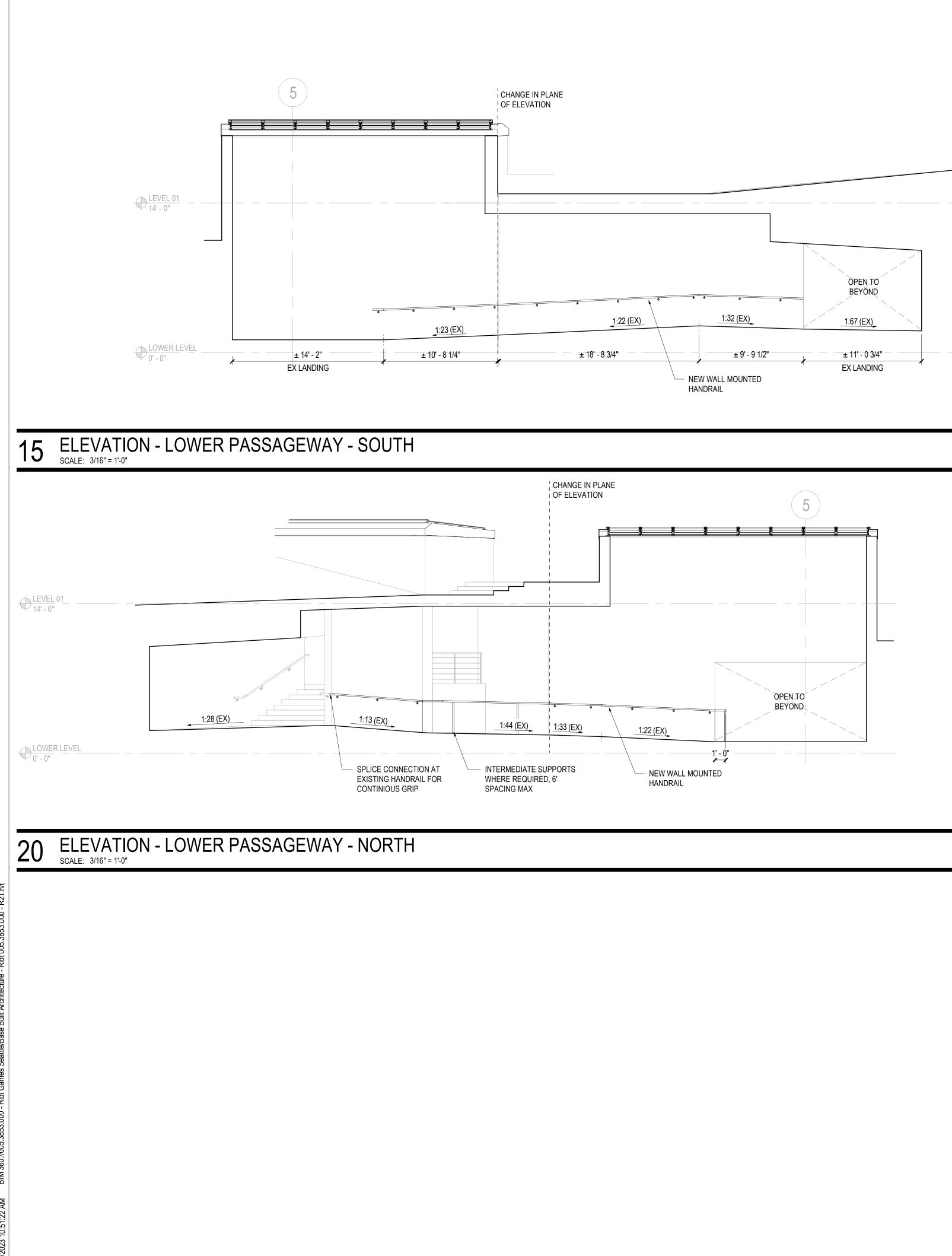


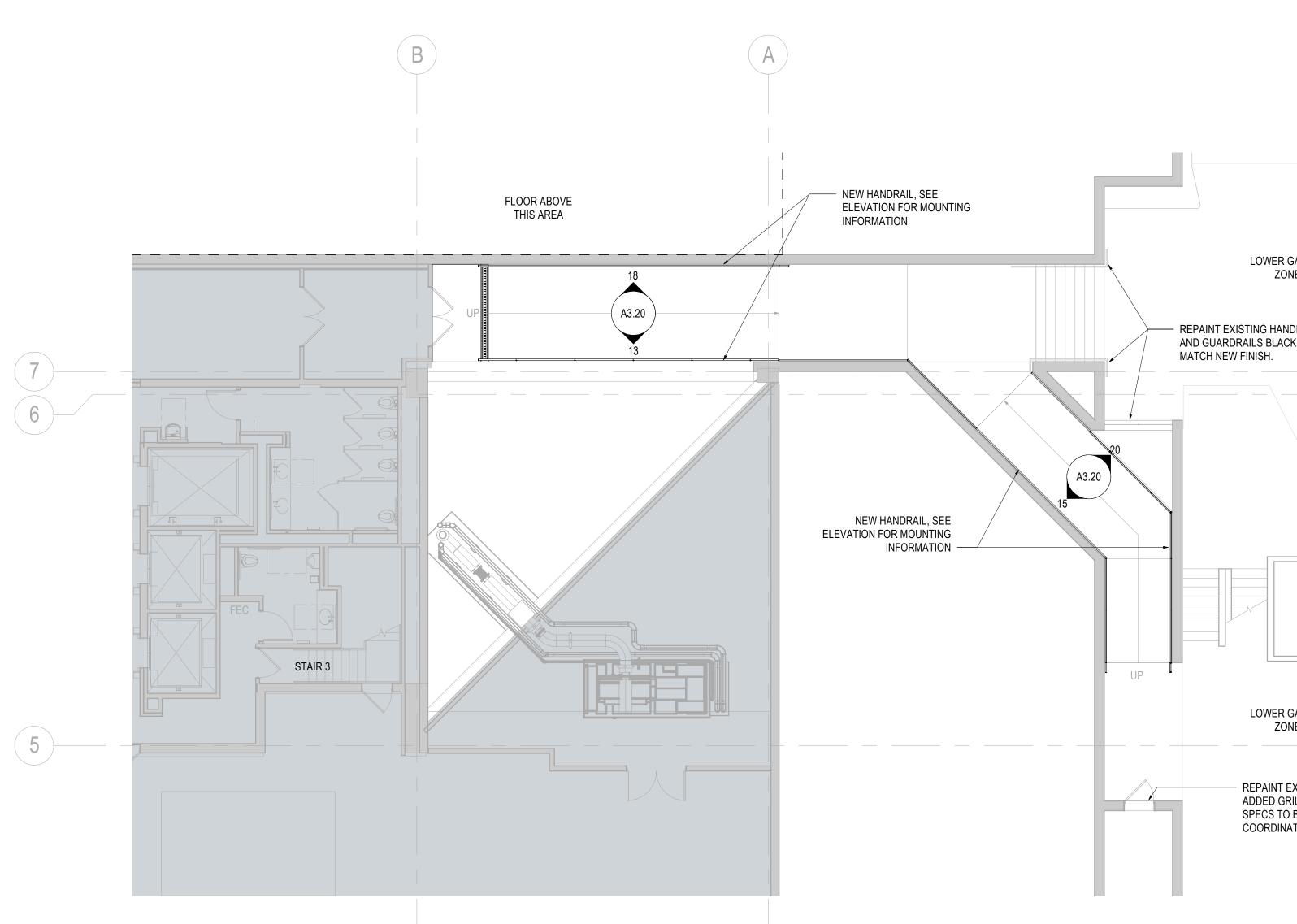




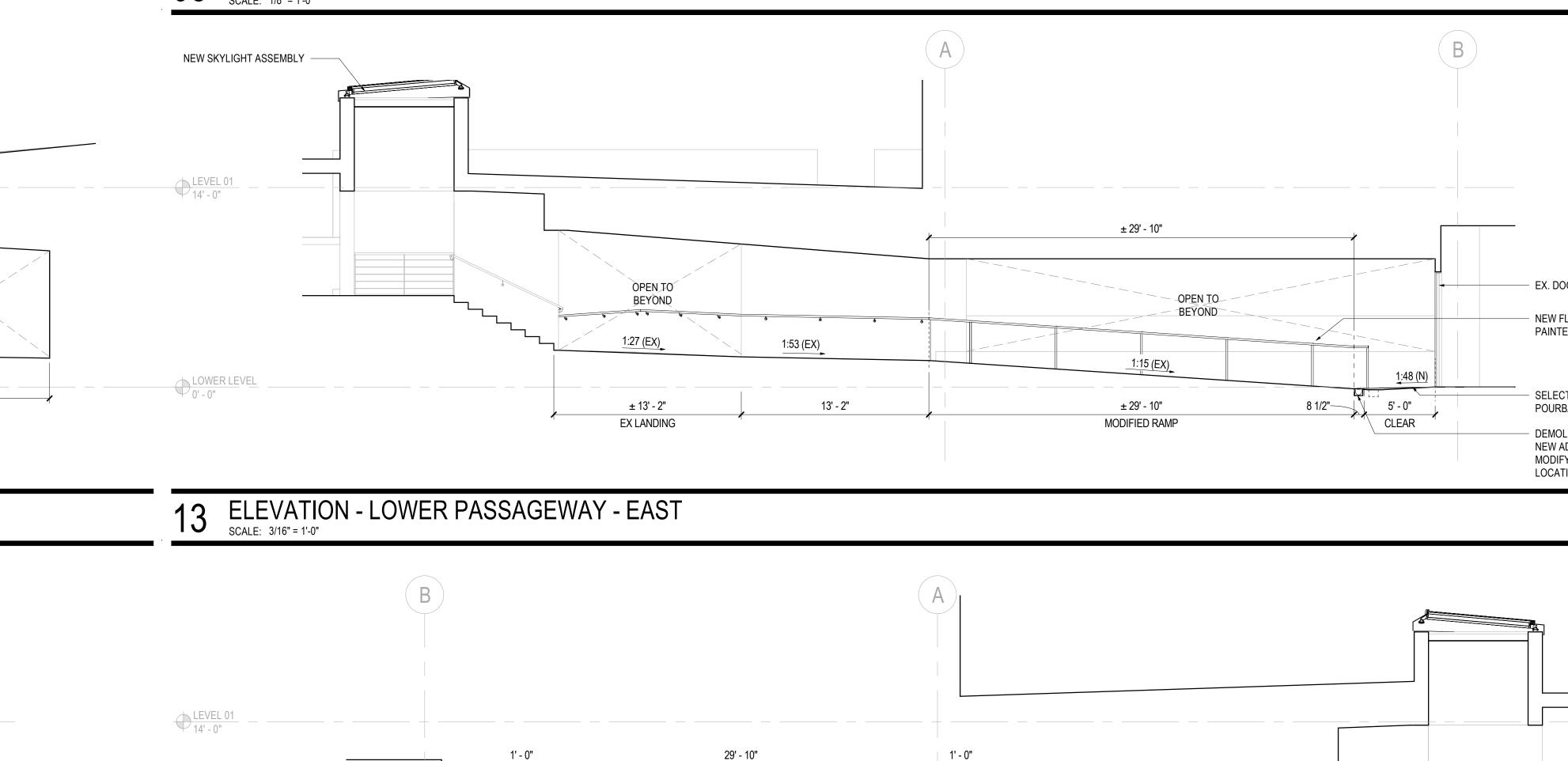
|   | SHEET NOTES   | <b>RIOT GAMES</b>   |
|---|---|---|
|   |   | 3003 77th Avenue SoutheastMercer Island<br>WA 98040   |
|   |   |   |
|   |   | Gensler           1200 Sixth Avenue         Tel 206.654.2100           Suite 500         Fax 206.654.2121 |
|   |   | Seattle, WA 98101<br>United States  |
| GUARDRAIL TO<br>PROVIDE CABLE INFIL   |   |   |
|   |   |   |
|   |   |   |
|   |   |   |
|   |   |   |
|   |   |   |
| NTER EXTENSION,<br>& FINISH TO MATCH,<br>INFIL. SEE<br>&PE DRAWINGS FOR<br>IAL INFORMATION.   |   |   |
| EXISTING HANDRAILS<br>RDRAILS<br>HOUT BLACK, TYP.   | GENERAL NOTES   |   |
| GONC. CONTROL<br>T 3'X3' GRID   | 1 ALL EXISTING CONDITION WHERE SCOPE OF<br>WORK OCCURS OR AFFECTED BY SHALL BE FIELD<br>VERIFED FOR CONFORMANCE TO THE DESIGN<br>DOCUMENTS  |   |
| DR LANDING AND<br>EE LANDSCAPE  | <ol> <li>ALL NEW WATERPROOFING WORK SHALL BE FIELD<br/>VERIFIED AND REVIEWED BY WATERPROOFING<br/>CONSULTANT</li> <li>ANY NEW CORING, TRENCHING OR CUTTING AT<br/>STRUCTURAL SLAB OR WALL SHALL BE SCANNED</li> </ol>                                 |   |
|   | <ul> <li>FOR REVIEW AND APPROVAL BY THE<br/>STRUCTURAL ENGINEER</li> <li>4 ALL NEW PAINT FINISH NOTED AS BLACK SHALL BE<br/>SHERWIN WILLIAMS SW-6993 BLACK OF NIGHT,<br/>UON</li> </ul>   |   |
| NTERS & LANDSCAPE<br>S. SEE LANDSCAPE   | <ul> <li>5 ALL NEW GUARD RAILS, HANDRAILS SHALL BE<br/>PAINTED BLACK, UON. SEE NOTE 4</li> <li>6 EXISTING GUARDRAILS AND HANDRAILS TO BE<br/>PAINTED BLACK TO MATCH SCHEDULED NEW<br/>FINISH. PREP EXISTING SURFACE FOR SMOOTH<br/>FINISH.</li> </ul> |   |
|   | FINISH.   |   |
| BPER LANDSCAPE  |   |   |
|   |   |   |
|   |   | △ Date Description  |
|   |   | 05/10/2023 ISSUE CD 90%<br>05/19/2023 ISSUE FOR PERMIT  |
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|   |   |   |
| INSPECT<br>R IF<br>MOOTH  |   |   |
| CABLE &   |   |   |
|   |   |   |
| ETE   |   |   |
|   |   |   |
| ETROFIT   |   | Seal / Signature  |
| MOVAL OF EXISTING CONCRETE,<br>OVERLAP WITH EXISTING<br>EMBRANE AND SCHEDULED NEW.<br>/ATERPROOFING CONSULTANT UPON<br>IG CONCRETE FOR REVIEW PRIOR |   | 8961 RECISTERED<br>ARCHITECT  |
| ORK.<br>(N) STAINLESS STEEL<br>HOSE CLAMP   |   | LEWIS CHU<br>STATE OF WASHINGTON  |
| (N) WATER PROOFING<br>SYSTEM FLASHING<br>(N) CONCRETE TOPPING FILL  |   | Project Name<br>Riot Games Seattle - Exterior<br>Upgrades   |
| (N) PROTECTION BARRIER  |   | Project Number<br>05.3853.000<br>Description  |
| EXISTING WATERPROOFING<br>MEMBRANE<br>(N) MONOLITHIC MEMBRANE<br>WATER PROOFING<br>EXISTING STRUCTURAL SLAB   | KEY   | ENLARGED PLAN AND ELEVATIONS -<br>PLAZA   |
| (N) THROUGH PENETRATION<br>FIRESTOPING<br>SCHEDULED PIPE / CONDUIT  |   | Scale<br>As indicated   |
|   |   | A3.10   |
| N FLASHING  | AREA OF WORK<br>(PLAZA)   |   |







# 08 CONSTRUCTION PLAN - LOWER LEVEL RAMPS



18 ELEVATION - LOWER PASSAGEWAY - WEST

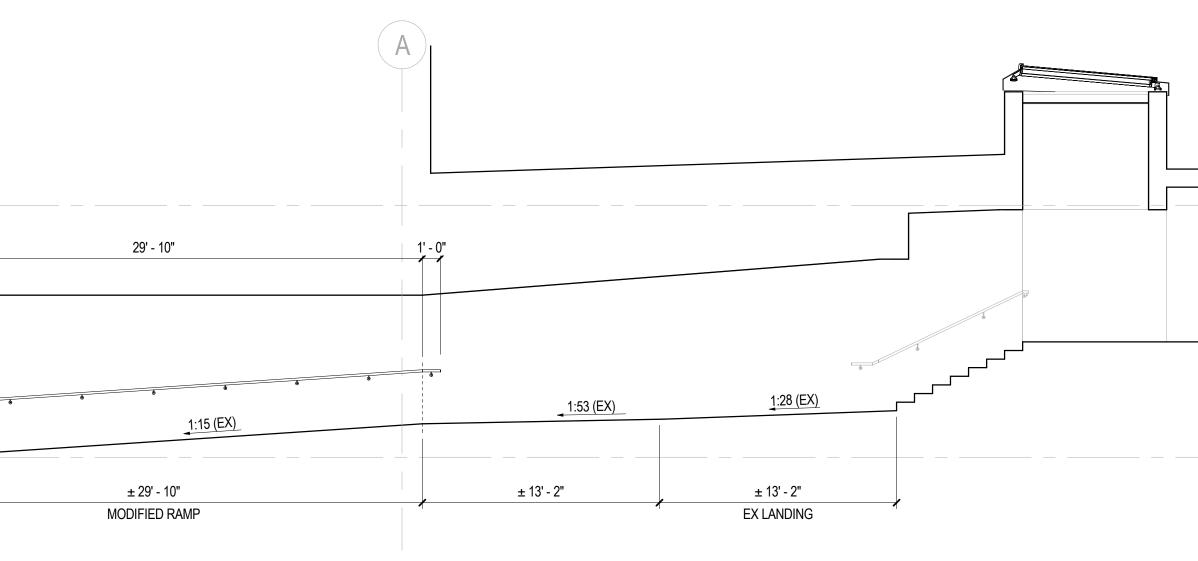
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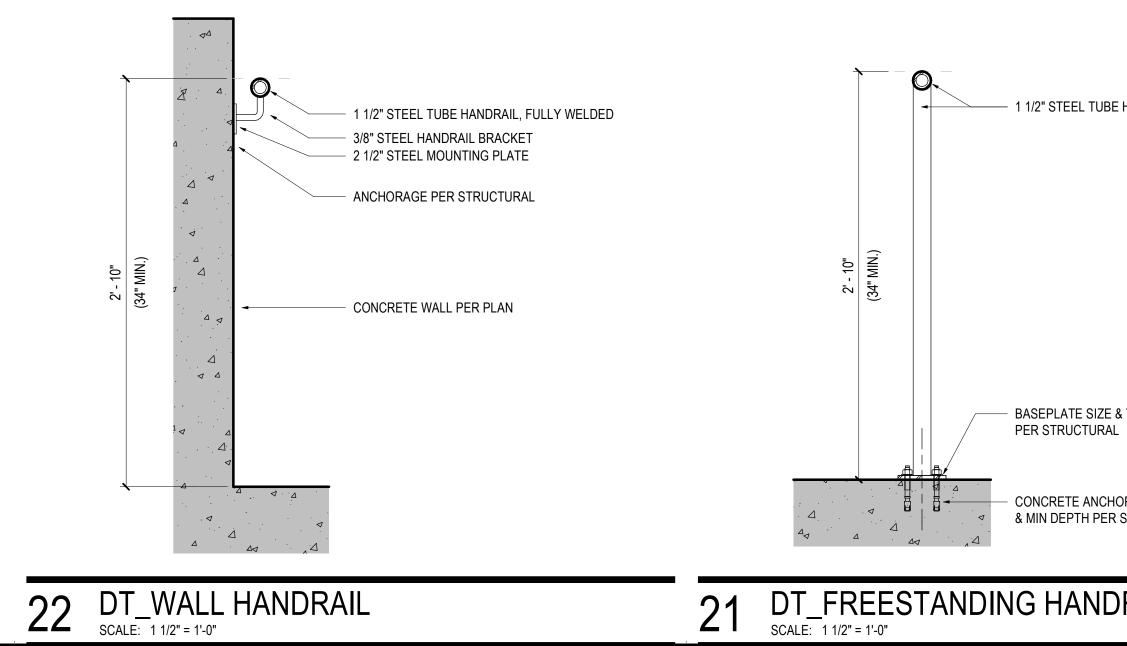
UOWER LEVEL

1:48 (N)

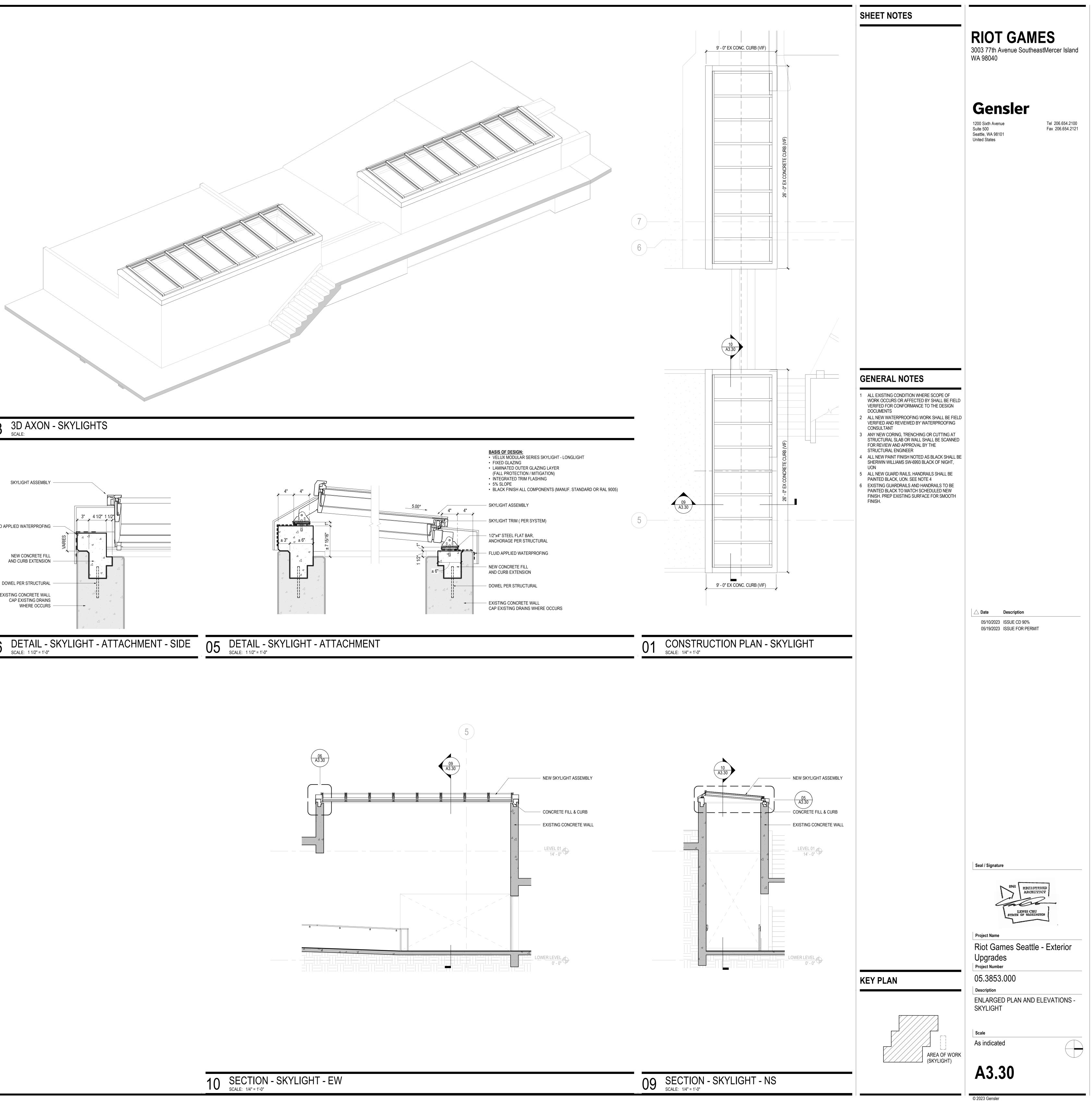
5' - 0" CLEAR

8 1/2"

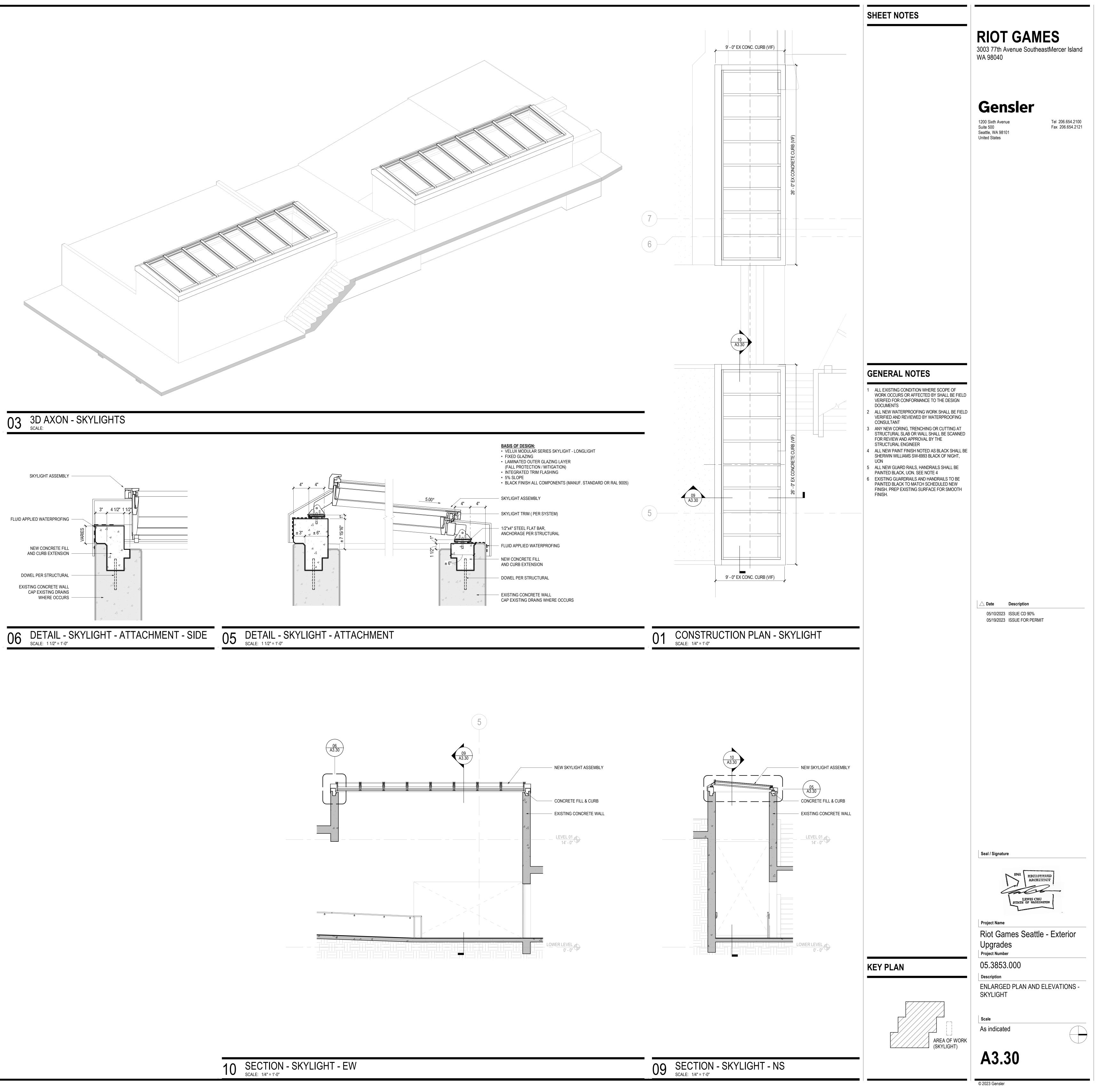


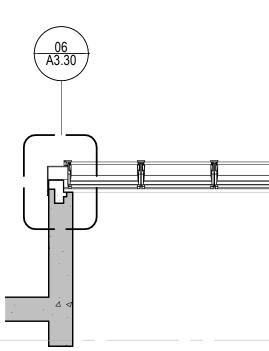


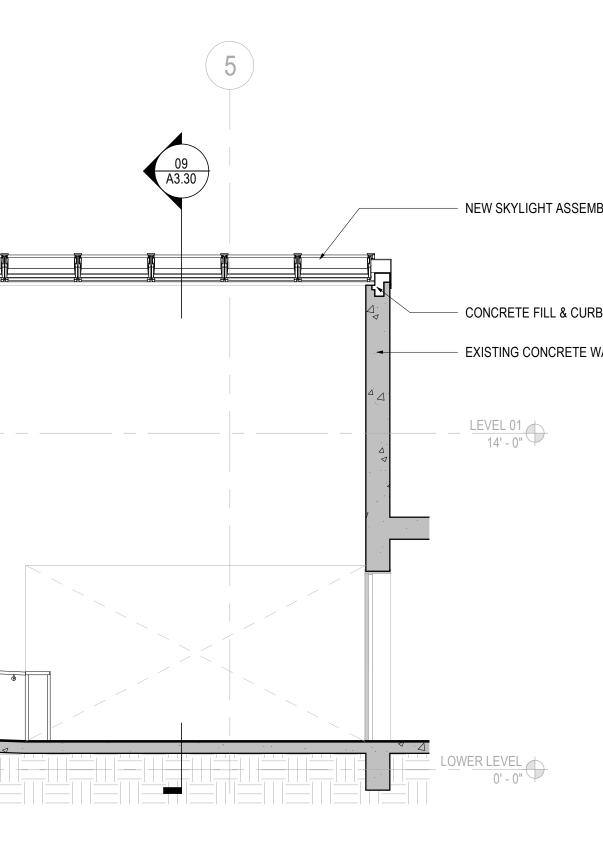
|   | SHEET NOTES   | <b>RIOT GAMES</b><br>3003 77th Avenue SoutheastMercer Island<br>WA 98040                       |
|---|---|--|
| ,   |   |  |
| GARAGE -<br>NE 2  |   | Gensier1200 Sixth Avenue<br>Suite 500<br>Seattle, WA 98101Tel 206.654.2100<br>Fax 206.654.2121 |
| DRAILS<br>K TO  |   | United States  |
|   |   |  |
|   |   |  |
| GARAGE -<br>NE 1  |   |  |
| EXISTING DOOR, FRAME AND<br>RILLE. PAINT COLOR AND<br>BE PROVIDED AND<br>ATED WITH THE OWNERS REP.  |   |  |
|   | GENERAL NOTES<br>1 ALL EXISTING CONDITION WHERE SCOPE OF<br>WORK OCCURS OR AFFECTED BY SHALL BE FIELD<br>VERIFED FOR CONFORMANCE TO THE DESIGN  |  |
|   | <ul> <li>DOCUMENTS</li> <li>2 ALL NEW WATERPROOFING WORK SHALL BE FIELD<br/>VERIFIED AND REVIEWED BY WATERPROOFING<br/>CONSULTANT</li> <li>3 ANY NEW CORING, TRENCHING OR CUTTING AT<br/>STRUCTURAL SLAB OR WALL SHALL BE SCANNED</li> </ul>                                  |  |
|   | <ul> <li>FOR REVIEW AND APPROVAL BY THE<br/>STRUCTURAL ENGINEER</li> <li>4 ALL NEW PAINT FINISH NOTED AS BLACK SHALL BE<br/>SHERWIN WILLIAMS SW-6993 BLACK OF NIGHT,<br/>UON</li> <li>5 ALL NEW GUARD RAILS, HANDRAILS SHALL BE<br/>PAINTED BLACK, UON. SEE NOTE 4</li> </ul> |  |
|   | 6 EXISTING GUARDRAILS AND HANDRAILS TO BE<br>PAINTED BLACK TO MATCH SCHEDULED NEW<br>FINISH. PREP EXISTING SURFACE FOR SMOOTH<br>FINISH.  |  |
| OOR ASSEMBLY TO REMAIN<br>LOOR MOUNTED STEEL HANDRAIL,<br>ED  |   |  |
| TIVE DEMOLITION AND<br>BACK OF CONC. LANDING<br>LISH EXISTING TRENCH DRAIN.<br>DA COMPLIANT TRENCH DRAIN,<br>Y PLUMBING AS REQ. FOR NEW<br>TON AND HEIGHT |   | △ Date     Description       05/10/2023     ISSUE CD 90%       05/19/2023     ISSUE FOR PERMIT |
|   |   |  |
| -<br>-<br>  |   |  |
| -   |   |  |
|   |   |  |
|   |   | Seal / Signature   |
| E HANDRAIL, FULLY WELDED  |   | S961<br>RECISTERED<br>ARCHITECT<br>LEWIS CHU<br>STATE OF WASHINGTON                            |
|   |   | Project Name<br>Riot Games Seattle - Exterior<br>Upgrades<br>Project Number<br>05.3853.000     |
| & THICKNESS   | KEY   | Description<br>ENLARGED PLAN AND ELEVATIONS -<br>LOWER LEVEL RAMPS                             |
| OR SIZE, TYPE   |   | Scale<br>As indicated  |
| ORAIL   | AREA OF WORK<br>(LOWER LEVEL)   | A3.20  |

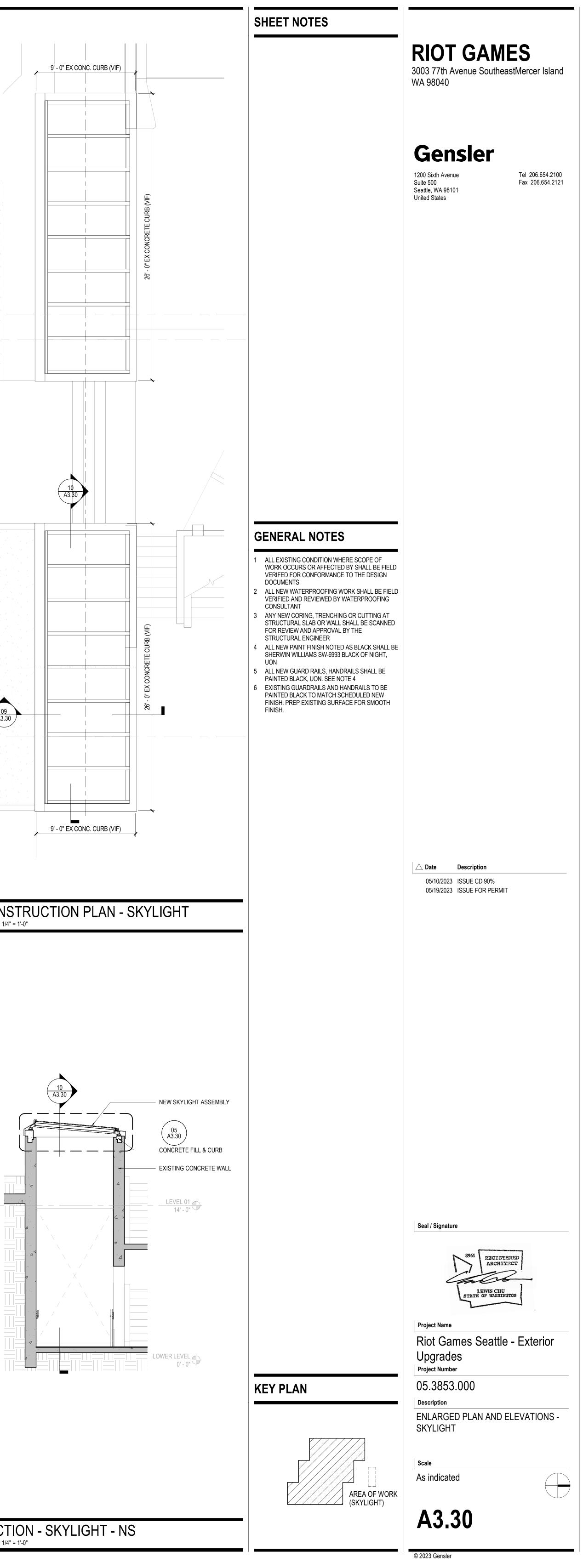


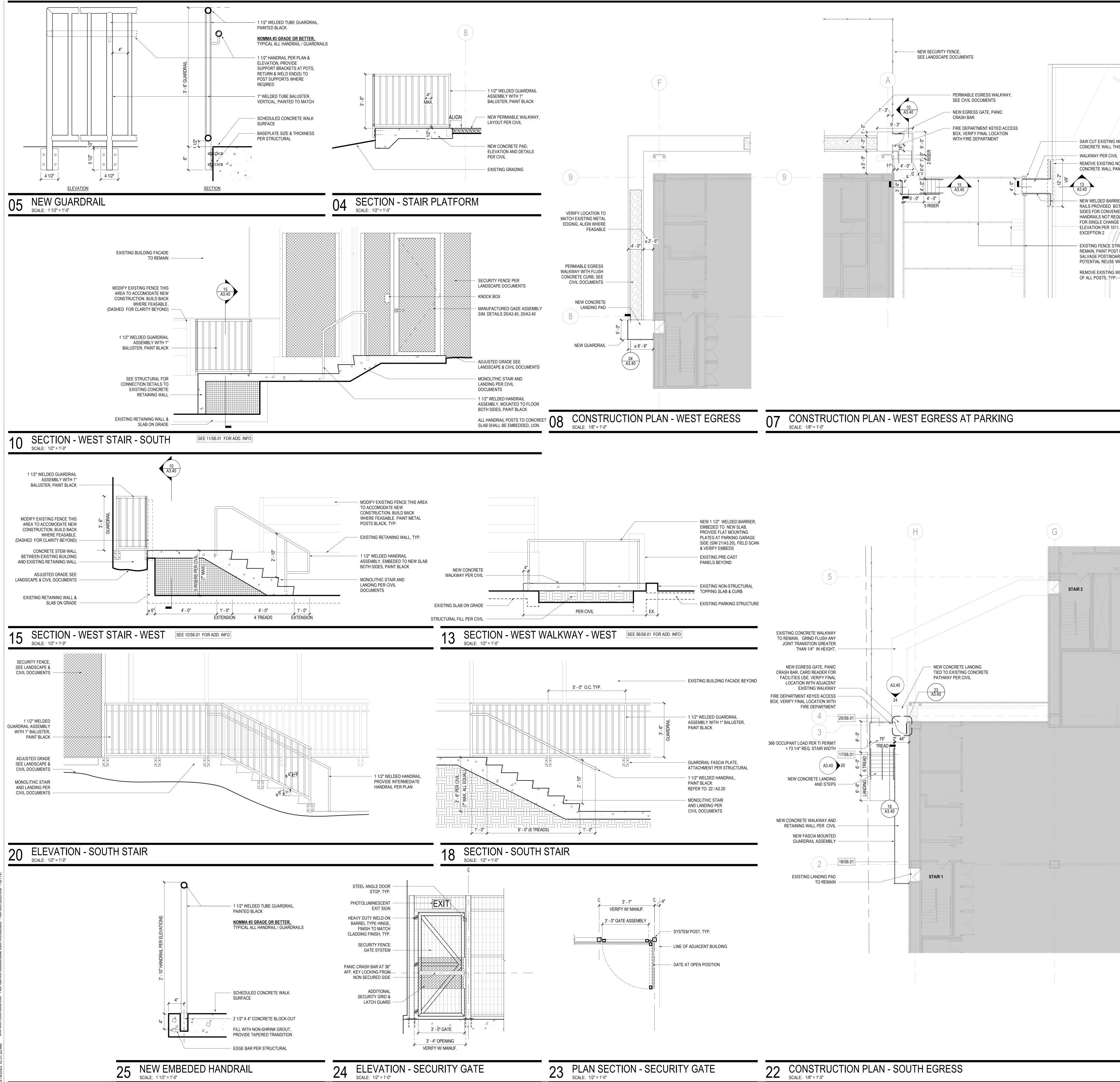




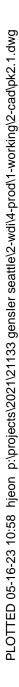


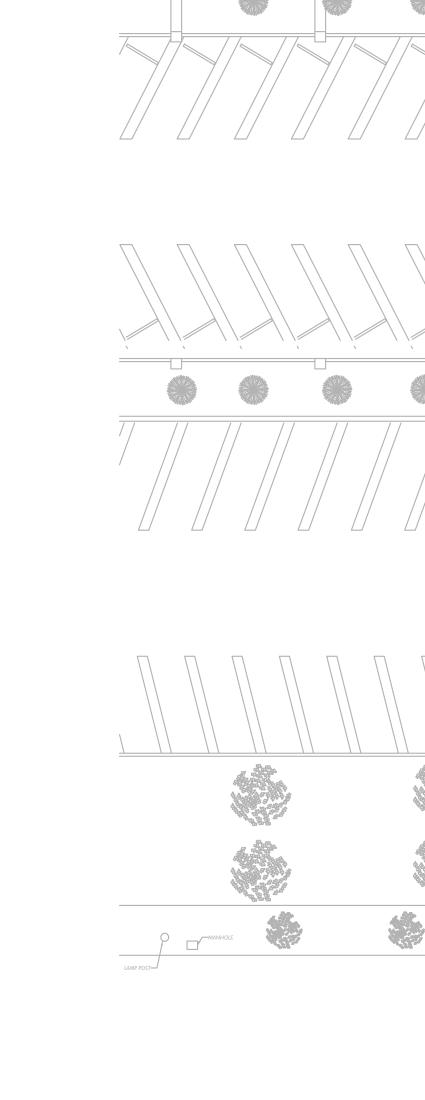


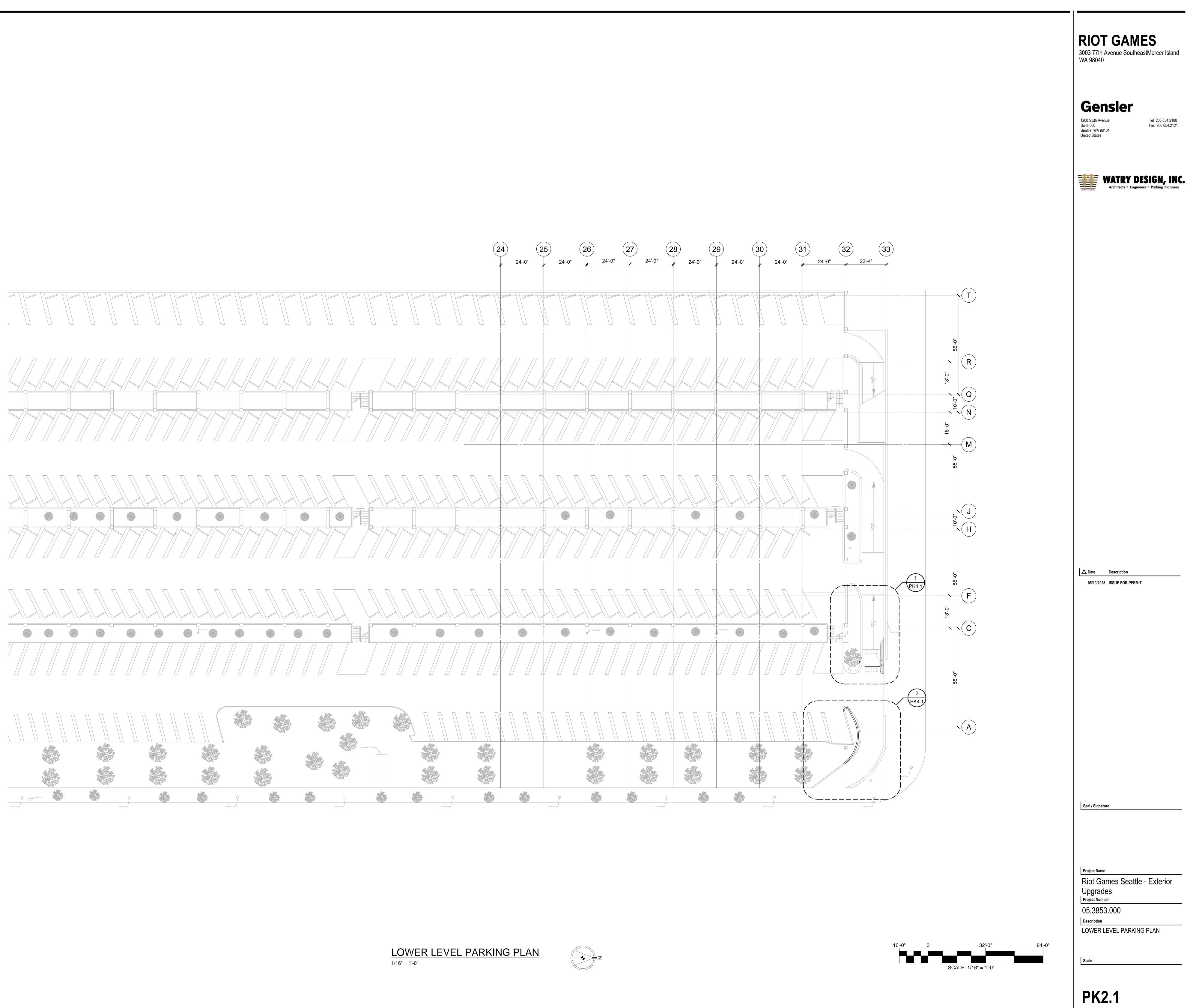


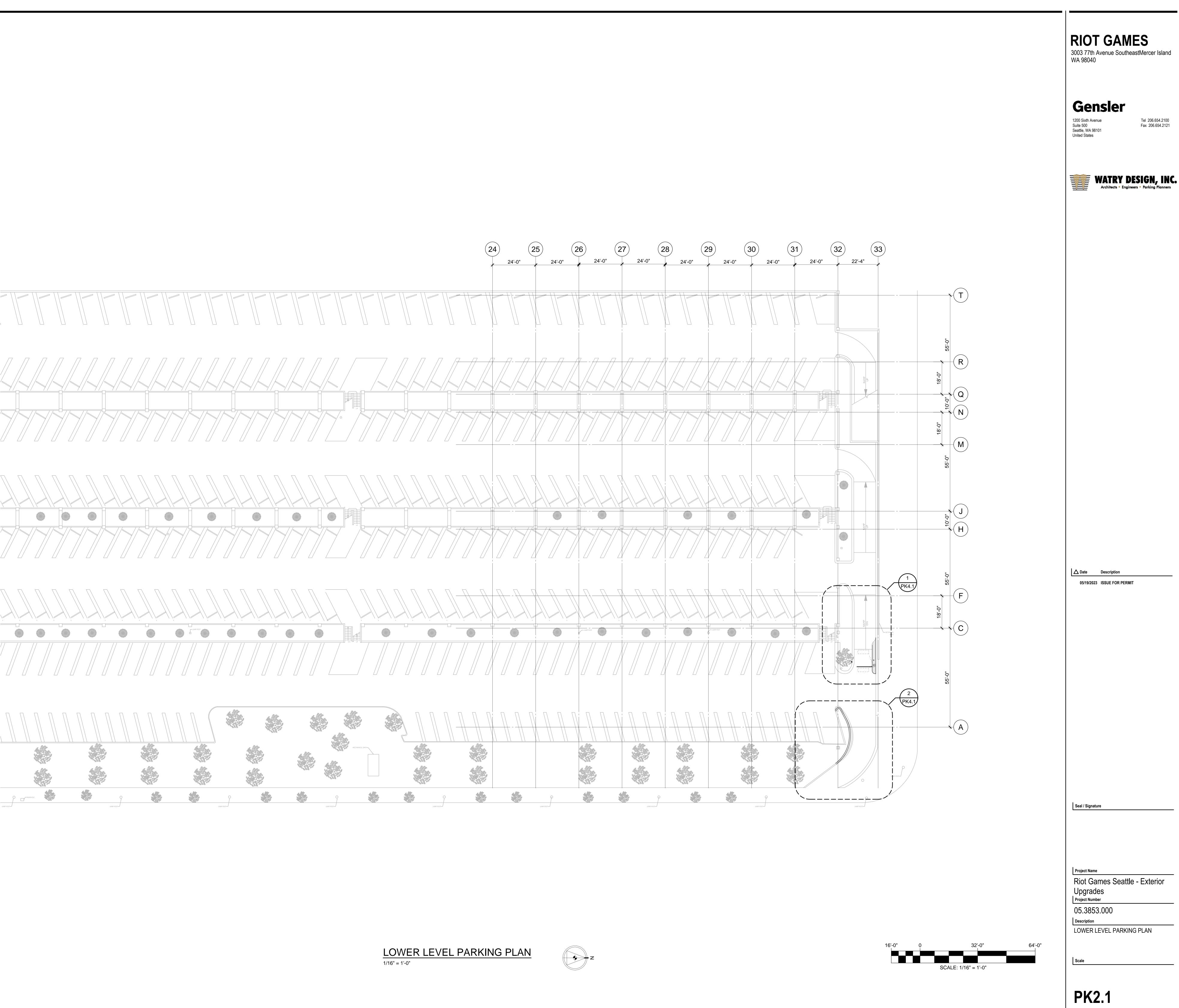


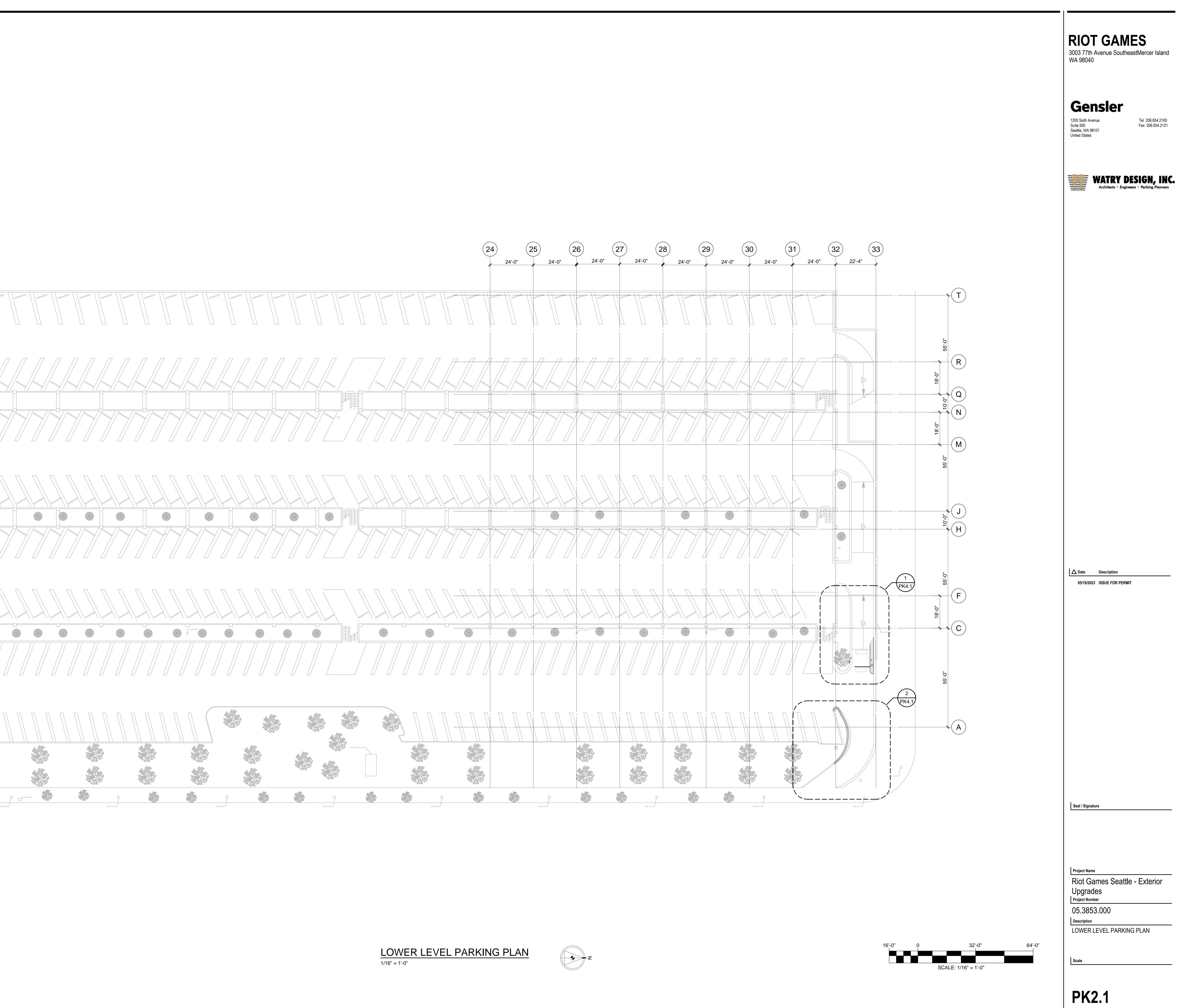
|   | SHEET NOTES   | <b>RIOT GAMES</b><br>3003 77th Avenue SoutheastMercer Island<br>WA 98040  |
|---|---|---|
| NON-STRUCTURAL<br>IS SECTION.   |   | <b>Geosler</b><br>1200 Sixth Avenue<br>Suite 500<br>Seattle, WA 98101<br>United States  |
| ER<br>TH<br>ENCE.<br>QUIRED<br>IN<br>I.11,<br>RUCTURE TO<br>BLACK. TYP.<br>RDS FOR<br>/HERE REQUIRED<br>/OOD CAP AT TOP |   |   |
|   | <ul> <li><b>DESIGNATION</b></li> <li>ALL EXISTING CONDITION WHERE SCOPE OF<br/>WORK OCCURS OR AFFECTED BY SHALL BE FIELD<br/>VERIFED FOR CONFORMANCE TO THE DESIGN<br/>DOCUMENTS</li> <li>ALL NEW WATERPROOFING WORK SHALL BE FIELD<br/>VERIFIED AND REVIEWED BY WATERPROOFING<br/>CONSULTANT</li> <li>ANY NEW CORING, TRENCHING OR CUTTING AT<br/>STRUCTURAL SLAB OR WALL SHALL BE SCANNED<br/>FOR REVIEW AND APPROVAL BY THE<br/>STRUCTURAL ENGINEER</li> <li>ALL NEW PAINT FINISH NOTED AS BLACK SHALL BE<br/>SHERWIN WILLIAMS SW-6993 BLACK OF NIGHT,<br/>UON</li> <li>ALL NEW GUARD RAILS, HANDRAILS SHALL BE<br/>PAINTED BLACK, UON. SEE NOTE 4</li> <li>EXISTING GUARDRAILS AND HANDRAILS TO BE<br/>PAINTED BLACK TO MATCH SCHEDULED NEW<br/>FINISH. PREP EXISTING SURFACE FOR SMOOTH<br/>FINISH.</li> </ul> |   |
|   |   | Date Description<br>05/10/2023 ISSUE CD 90%<br>05/19/2023 ISSUE FOR PERMIT  |
|   |   | Seal / Signature         Seal / Signature         Image: Seal / Signature         Image: Seal / Signature         Image: Seal / Signature         Project Name         Riot Games Seattle - Exterior         Upgrades         Project Number         OF 2952 000  |
|   | KEY PLAN<br>AREA OF WORK<br>(SOUTH EGRESS)  | 05.3853.000<br>Description<br>ENLARGED PLAN AND ELEVATIONS -<br>SOUTH EGRESS<br>Scale<br>As indicated<br>Ref North<br>A3.40<br>Scale<br>Scale<br>Scale<br>Ref North<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale<br>Scale |

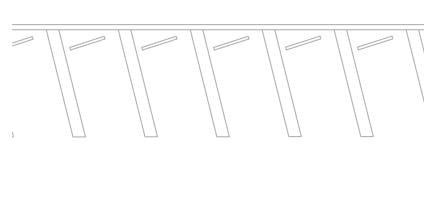


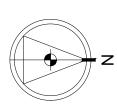


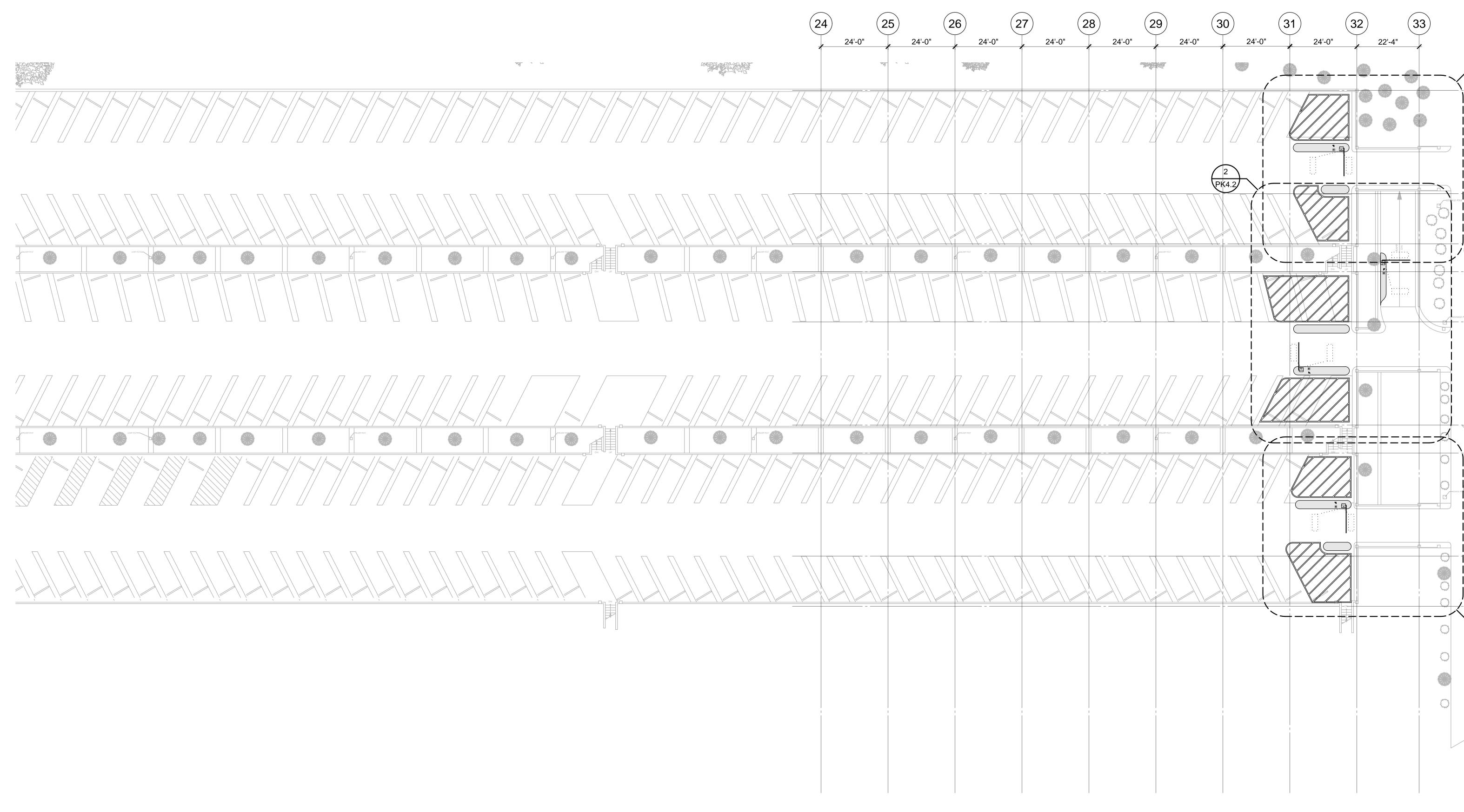




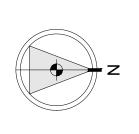


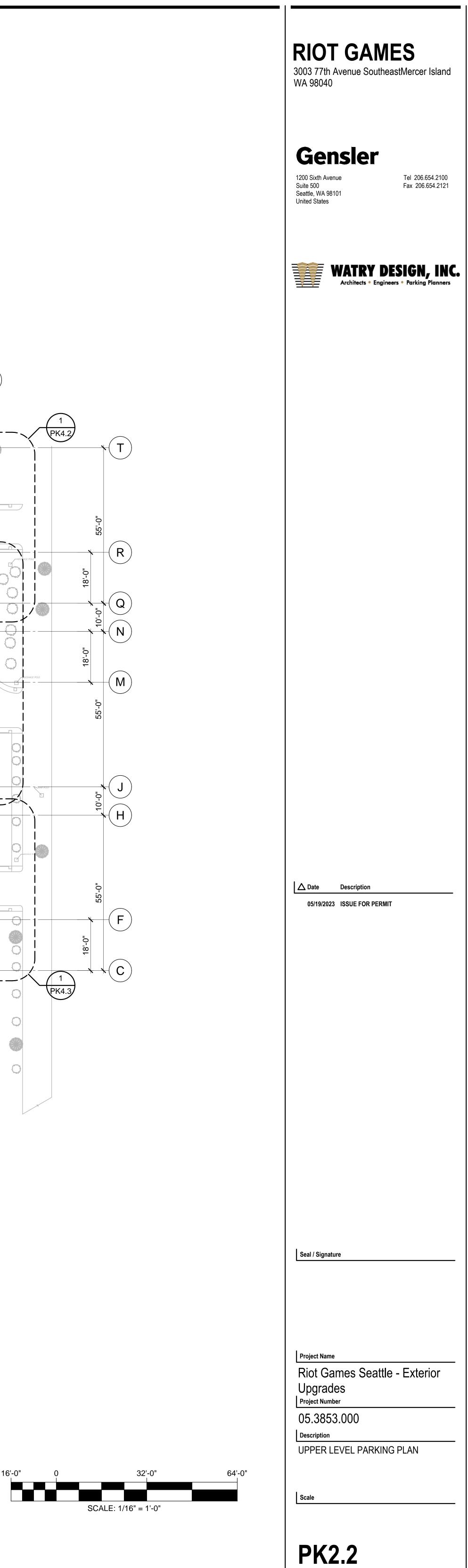


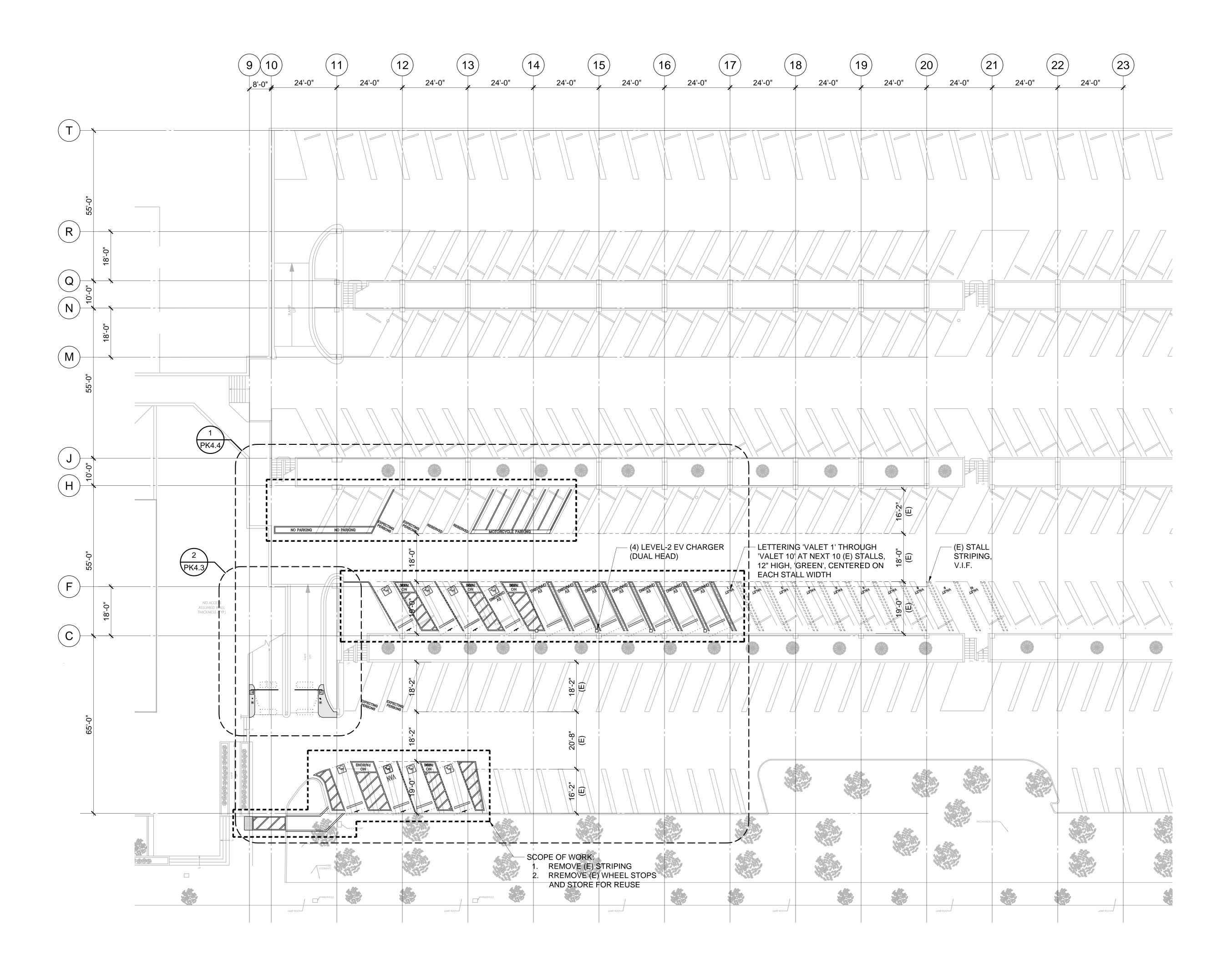




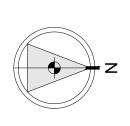
## UPPER LEVEL PARKING PLAN 1/16" = 1'-0"







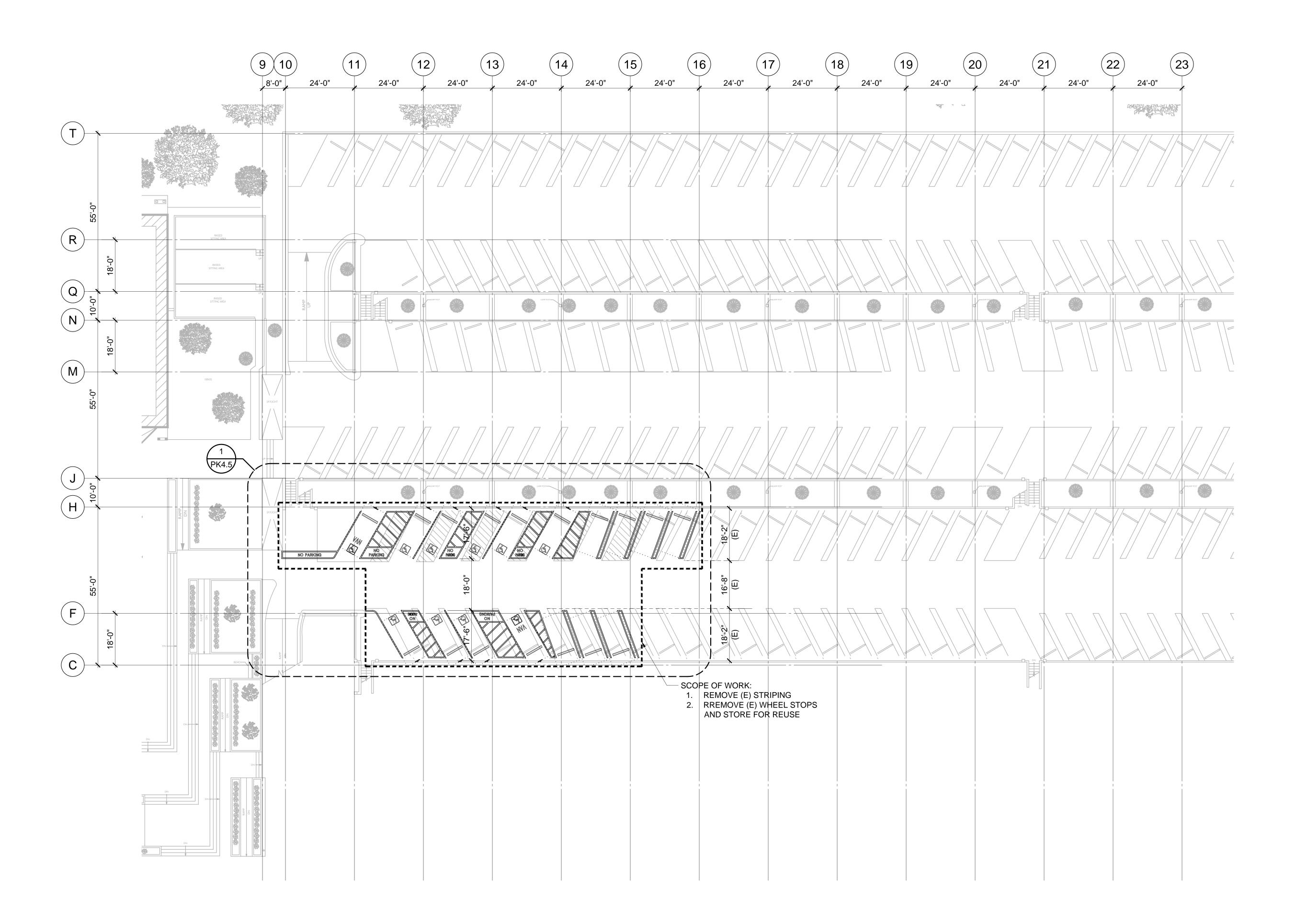
## LOWER LEVEL PARKING PLAN 1/16" = 1'-0"



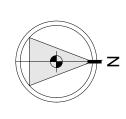
|   | <b>RIOT GAMES</b><br>3003 77th Avenue SoutheastMercer Island<br>WA 98040                                  |
|---|---|
|   | Gensier<br>1200 Sixth Avenue<br>Suite 500<br>Seattle, WA 98101<br>United States                           |
|   | WATRY DESIGN, INC.<br>Architects • Engineers • Parking Planners   |
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|   |   |
|   | Seal / Signature  |
|   | Project Name<br>Riot Games Seattle - Exterior<br>Upgrades<br>Project Number<br>05.3853.000<br>Description |
| 0 32'-0" 64'-0"<br>SCALE: 1/16" = 1'-0" | LOWER LEVEL PARKING PLAN Scale  |
|   | PK2.3   |

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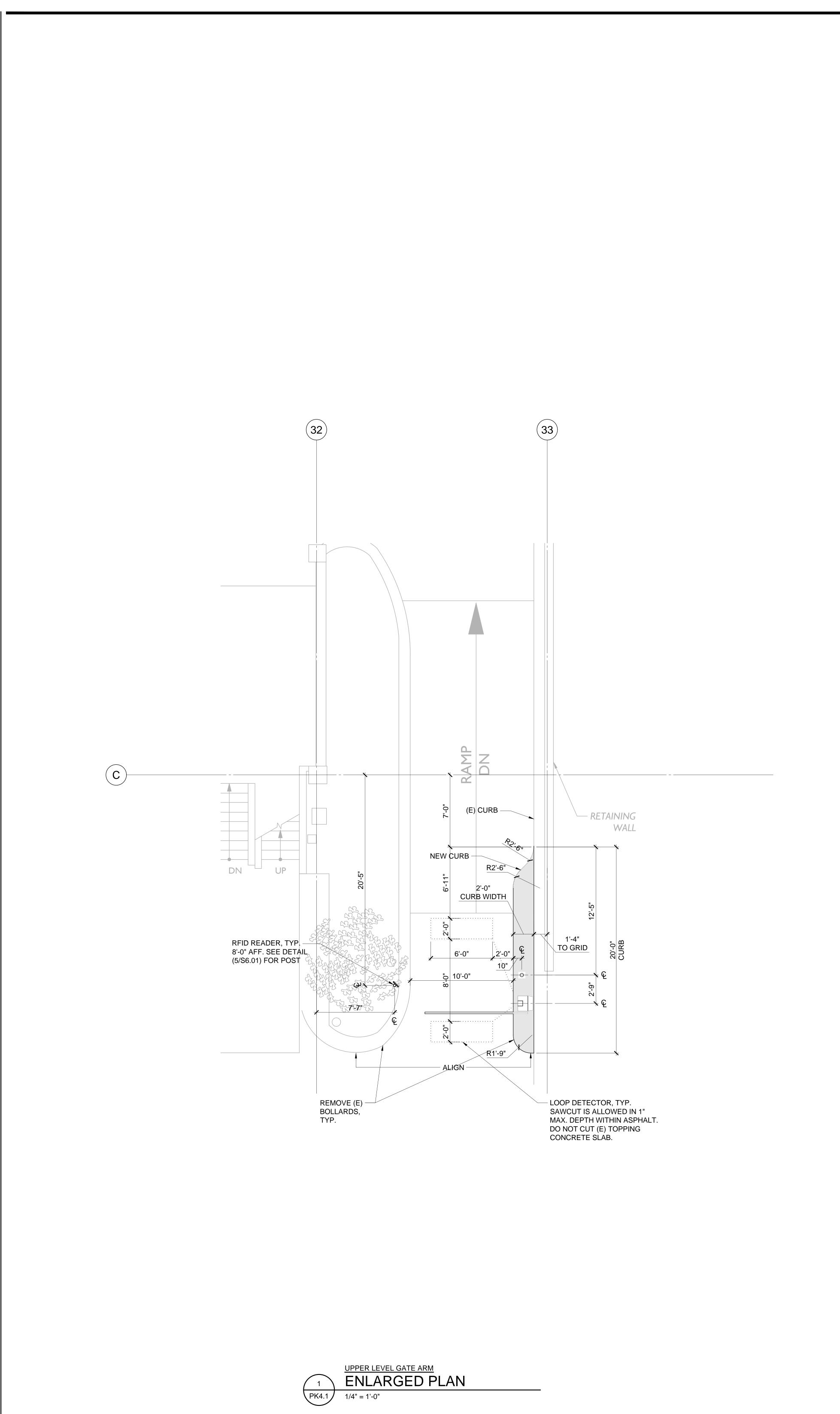
16'-0"

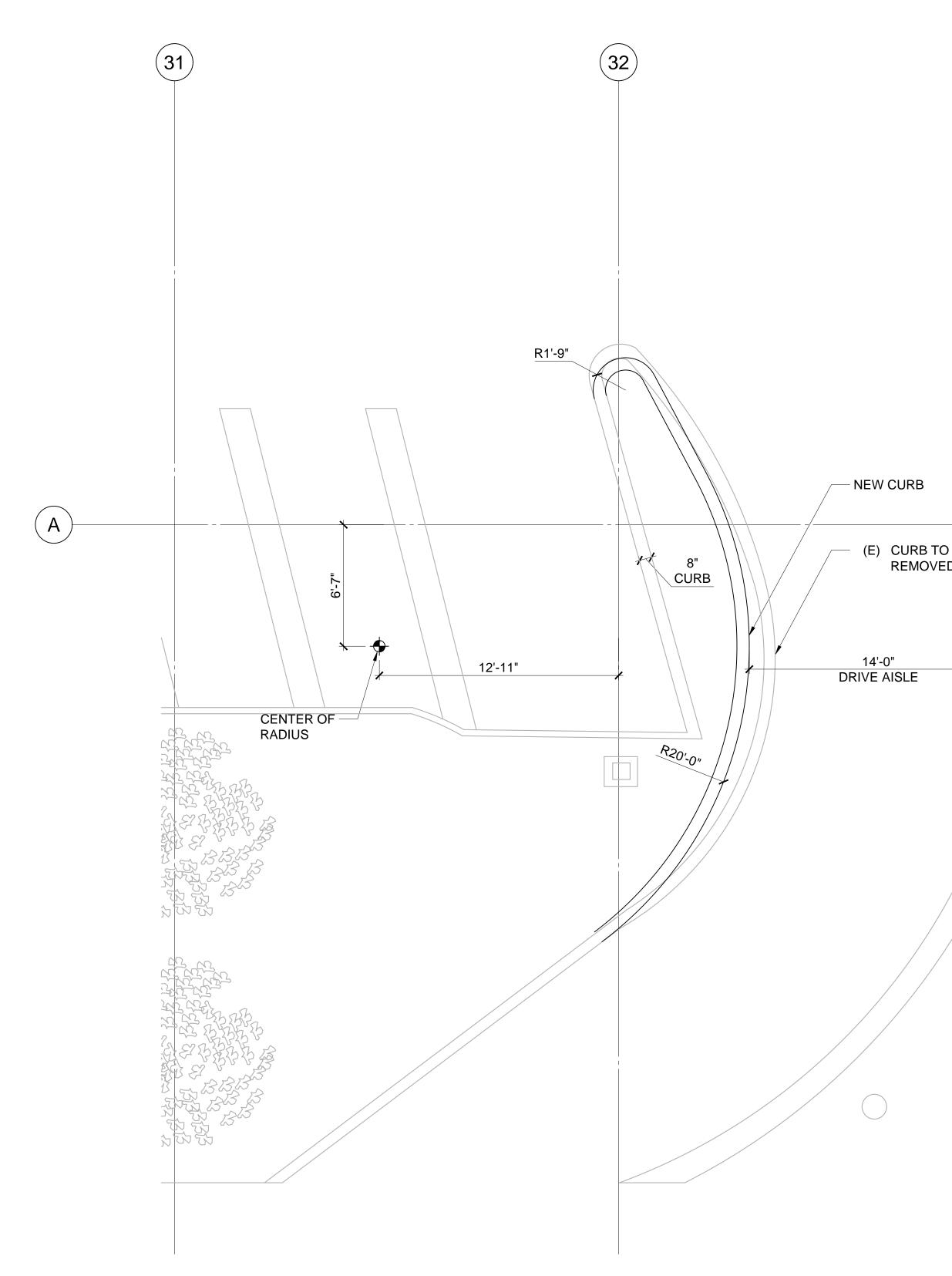


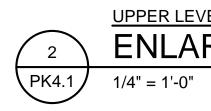
## UPPER LEVEL PARKING PLAN 1/16" = 1'-0"



|                        | RIOT GAMES<br>3003 77th Avenue SoutheastMercer Island<br>WA 98040   |
|------------------------|---|
|                        | Gensler<br>1200 Sixth Avenue<br>Suite 500<br>Seattle, WA 98101<br>United States                                       |
|                        | WATRY DESIGN, INC.<br>Architects • Engineers • Parking Planners   |
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|                        |   |
|                        | ▲ Date     Description       05/19/2023     ISSUE FOR PERMIT  |
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|                        |   |
|                        | Seal / Signature  |
|                        | Project Name<br>Riot Games Seattle - Exterior   |
| 16'-0" 0 32'-0" 64'-0" | Riol Games Seallie - Exterior<br>Upgrades<br>Project Number<br>05.3853.000<br>Description<br>UPPER LEVEL PARKING PLAN |
| SCALE: 1/16" = 1'-0"   | Scale   |
|                        | PK2.4   |

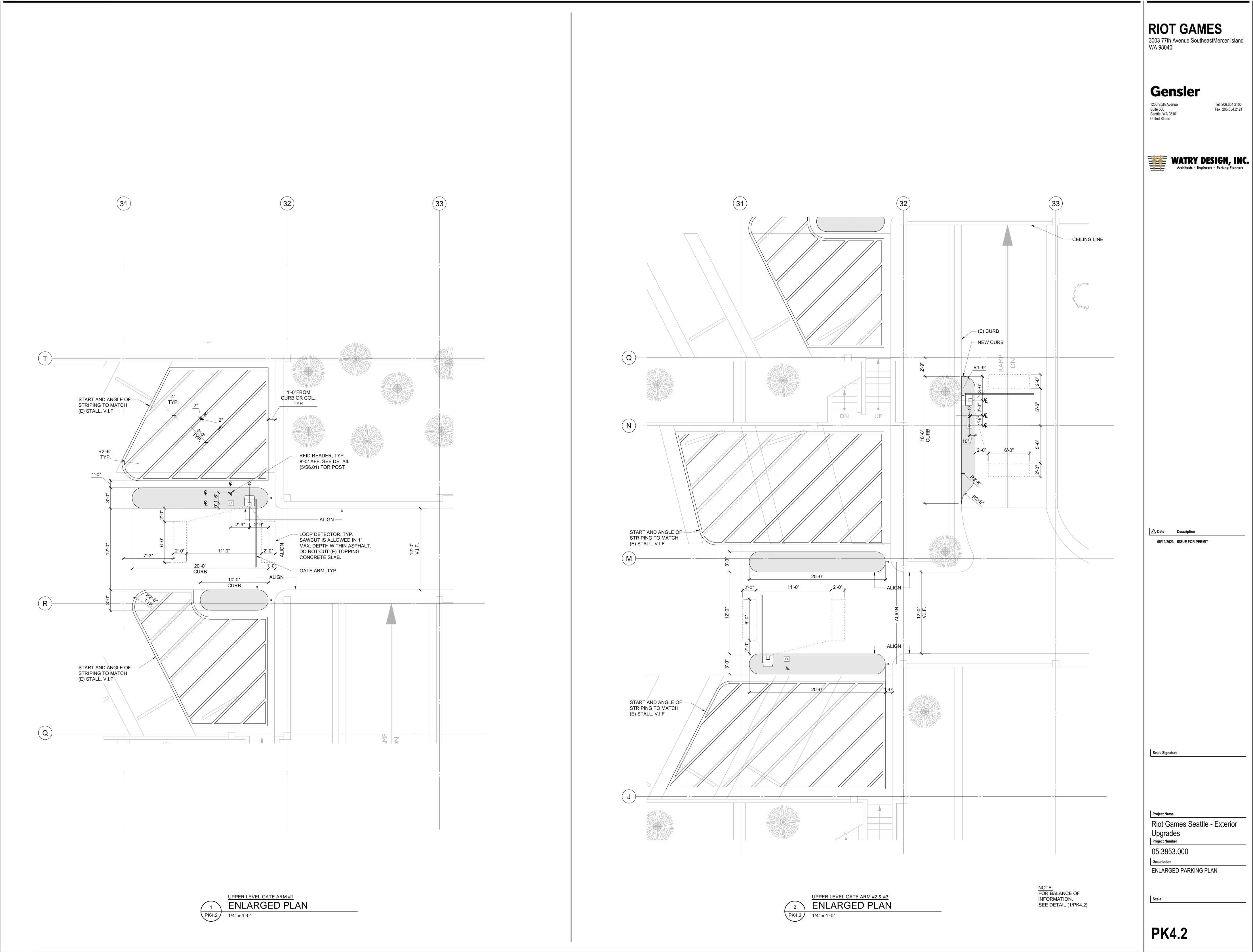


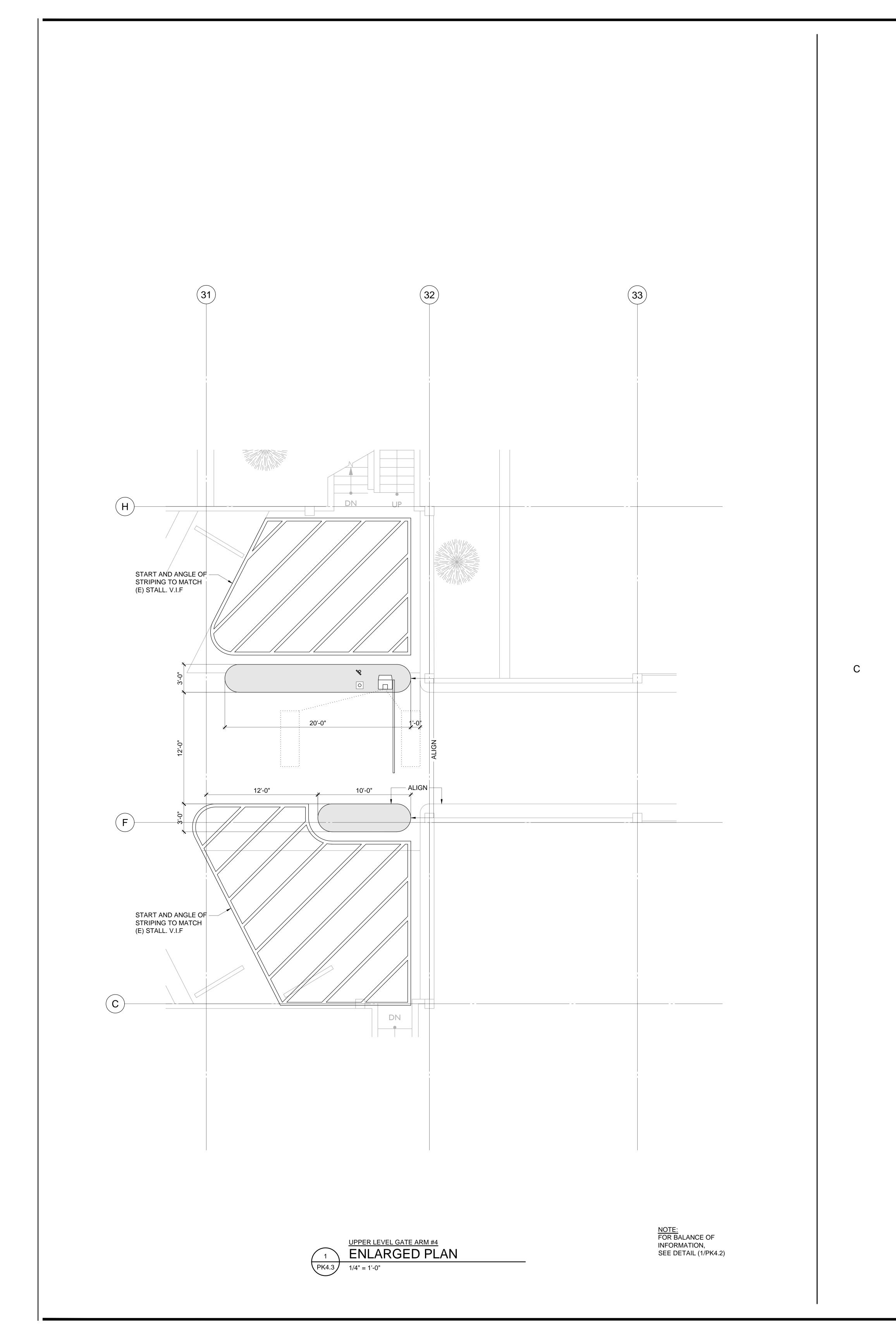


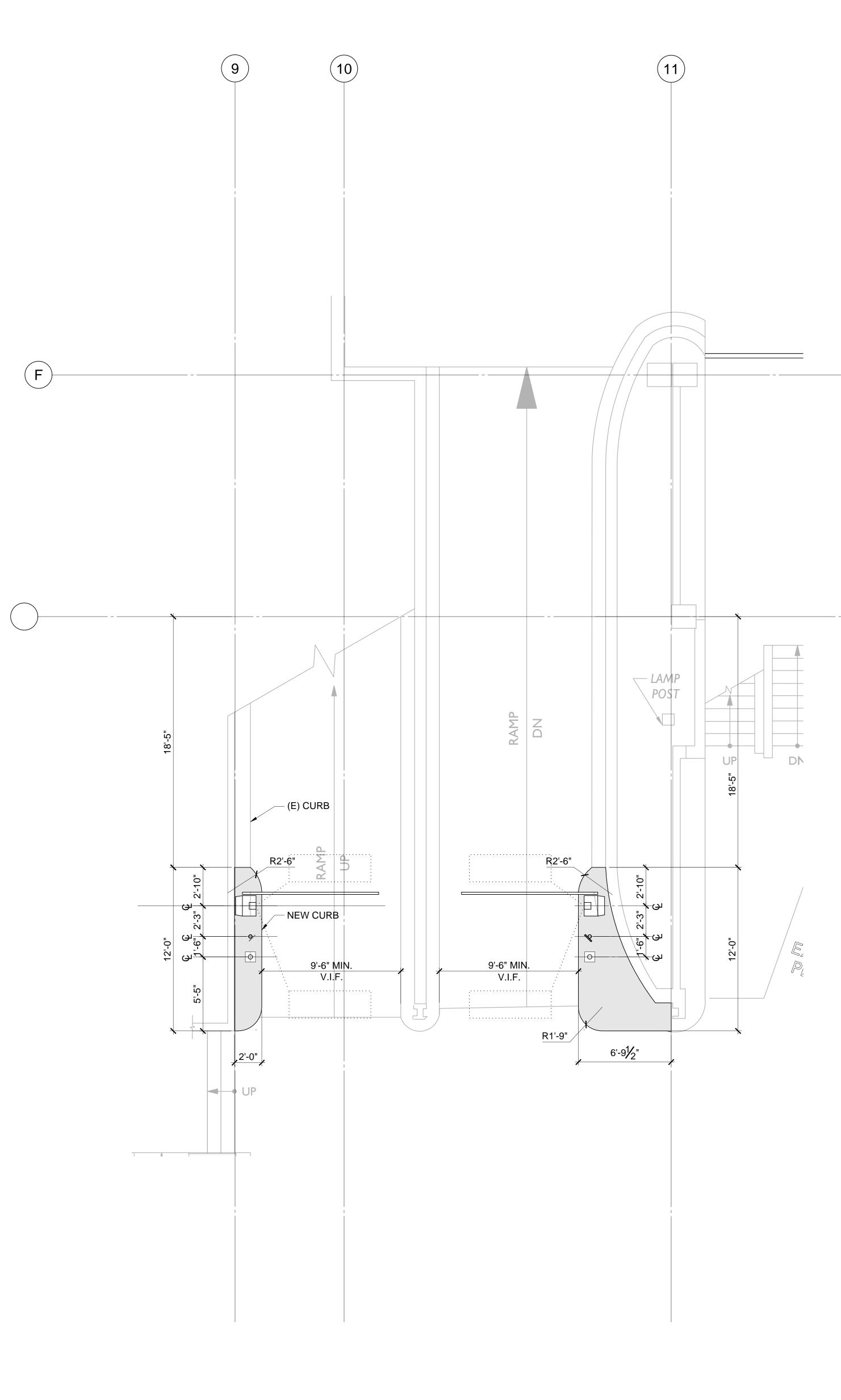


UPPER LEVEL EXIT ENLARGED PLAN

| RIOT GAMES   |
|--|
| 3003 77th Avenue SoutheastMercer Island<br>WA 98040                                    |
| <b>Gensier</b><br>1200 Sixth Avenue<br>Suite 500<br>Seattle, WA 98101<br>United States |
| WATRY DESIGN, INC.<br>Architects • Engineers • Parking Planners                        |
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| ☐ Date Description<br>05/19/2023 ISSUE FOR PERMIT                                      |
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| Seal / Signature   |
| Project Name   |
| Riot Games Seattle - Exterior<br>Upgrades<br>Project Number<br>05.3853.000             |
| Description  |
| Description ENLARGED PARKING PLAN Scale  |
|  |





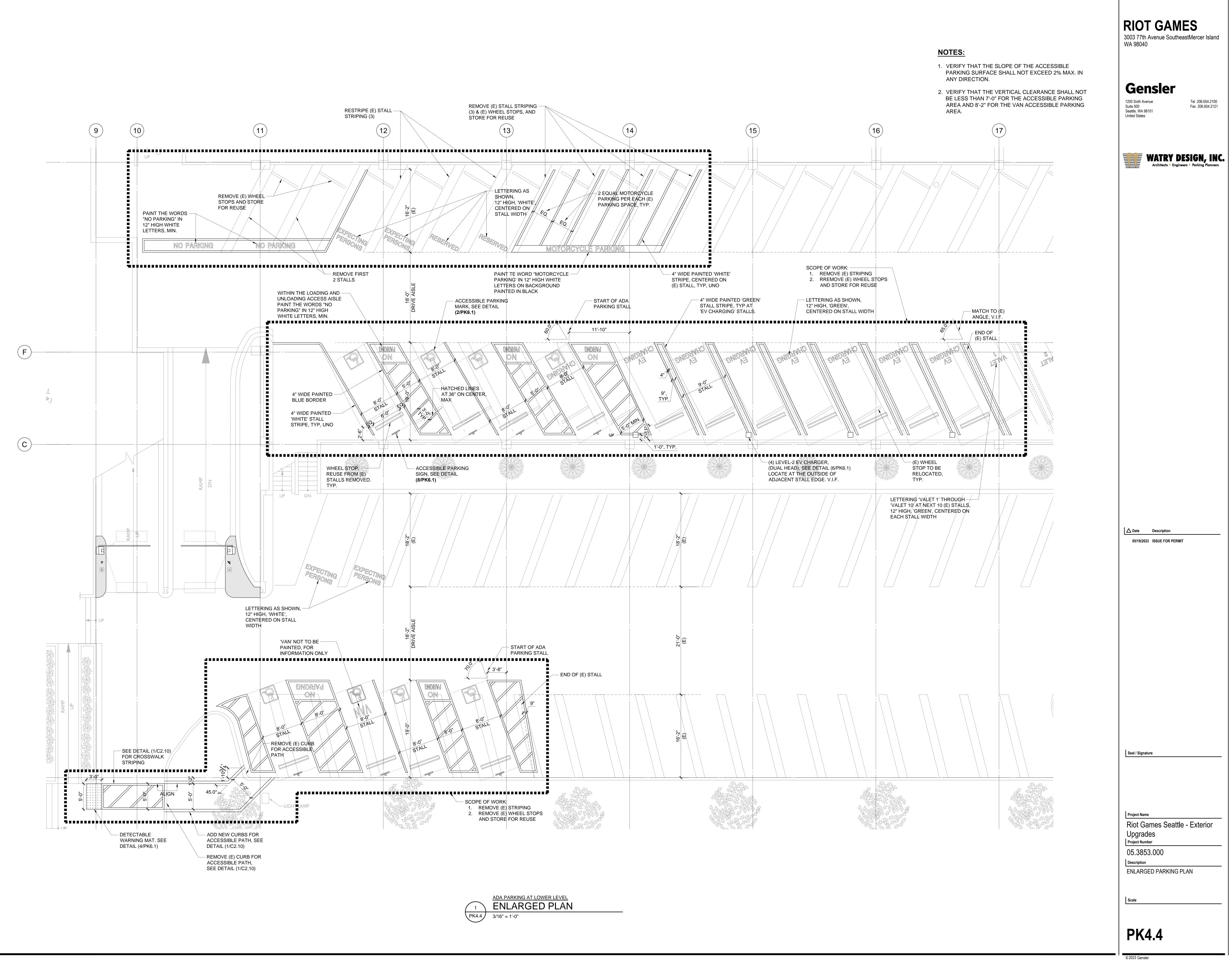


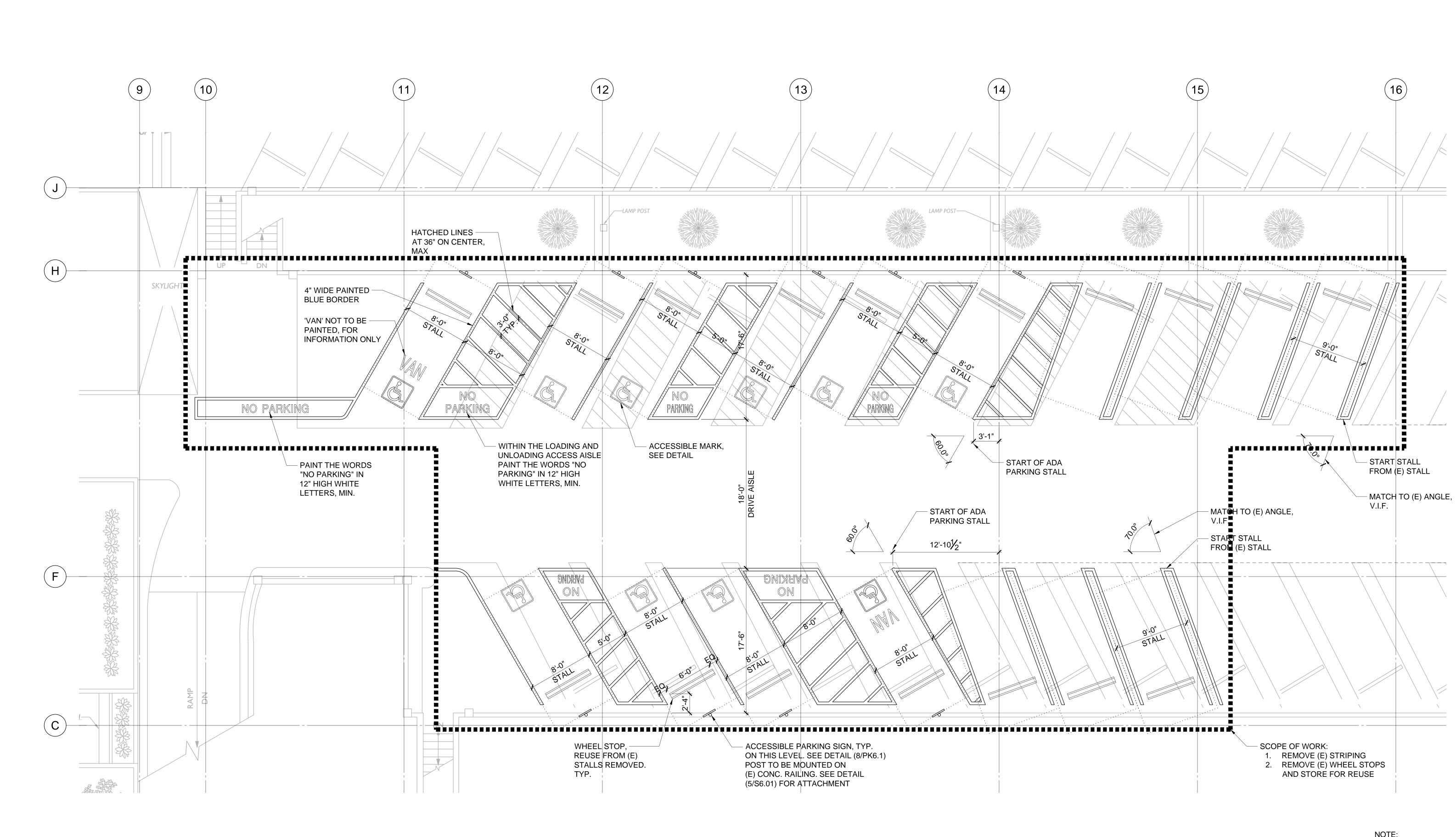
LOWER LEVEL SOUTH GATE ARM #1 & #2 ENLARGED PLAN

| <b>RIOT GAMES</b><br>3003 77th Avenue SoutheastMercer Island<br>WA 98040   |
|--|
| Gensier1200 Sixth AvenueTel 206.654.2100Suite 500Fax 206.654.2121Seattle, WA 98101United States                    |
| WATRY DESIGN, INC.<br>Architects • Engineers • Parking Planners  |
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| Seal / Signature   |
| Project Name   |
| Riot Games Seattle - Exterior<br>Upgrades<br>Project Number<br>05.3853.000<br>Description<br>ENLARGED PARKING PLAN |
| Scale  |
| PK4.3  |

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<u>NOTE:</u> FOR BALANCE OF INFORMATION, SEE DETAIL (1/PK4.2) & (2/PK4.2)





ADA PARKING AT UPPER LEVEL ENLARGED PLAN PK4.5 3/16" = 1'-0"

# NOTES:

- AREA.

<u>NOTE</u>: FOR BALANCE OF INFORMATION, SEE DETAIL (1/PK4.4)

1. VERIFY THAT THE SLOPE OF THE ACCESSIBLE PARKING SURFACE SHALL NOT EXCEED 2% MAX. IN ANY DIRECTION.

2. VERIFY THAT THE VERTICAL CLEARANCE SHALL NOT BE LESS THAN 7'-0" FOR THE ACCESSIBLE PARKING AREA AND 8'-2" FOR THE VAN ACCESSIBLE PARKING

# **RIOT GAMES**

3003 77th Avenue SoutheastMercer Island WA 98040

# Gensler

1200 Sixth Avenue Suite 500 Seattle, WA 98101 United States

Tel 206.654.2100 Fax 206.654.2121



△ Date Description

05/19/2023 ISSUE FOR PERMIT

Seal / Signature

Project Name Riot Games Seattle - Exterior Upgrades Project Number 05.3853.000 Description ENLARGED PARKING PLAN

Scale

**PK4.5** 

